



# Board of Adjustment Staff Report

Meeting Date: August 2, 2018

Agenda Item: 8C

ADMINISTRATIVE CASE NUMBER: WADMIN18-0009 (Lodge at Galena)

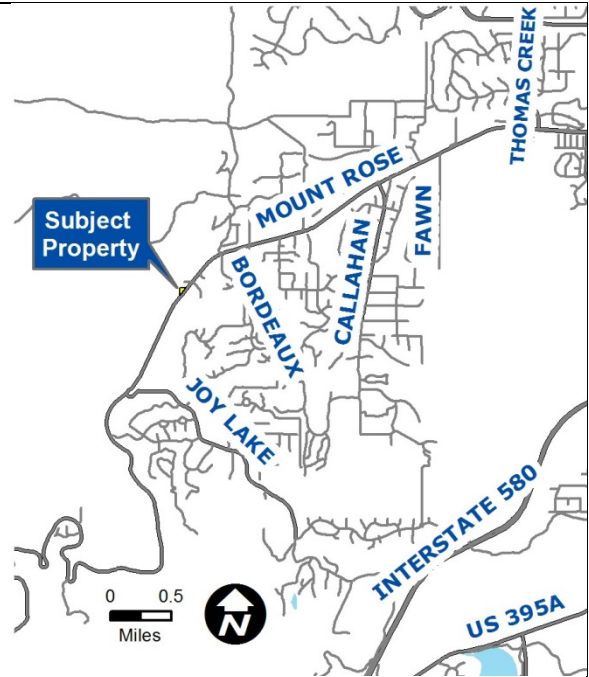
BRIEF SUMMARY OF REQUEST: Allow Snowind Sports (Retail Sales – Specialty) and a wine/coffee bar (Liquor Sales – On-Premises) to operate from 17025 Mt. Rose Highway.

STAFF PLANNER: Kelly Mullin, AICP, Senior Planner  
775.328.3608  
[kmullin@washoecounty.us](mailto:kmullin@washoecounty.us)

### CASE DESCRIPTION

For possible action, hearing, and discussion to allow for two separate uses, each of which requires an administrative permit, on the subject property: (1) Snowind Sports, classified under the Retail Sales – Specialty Stores use type; and (2) a wine/coffee bar, classified under the Liquor Sales – On-Premises use type. If approved, the uses would be undertaken by 2 of the 3 tenants expected to occupy the building on-site, which is approximately 4,135 square feet. The retail sales use type is proposed to occupy 1,700 square feet, while the wine and coffee bar is proposed to occupy 800 square feet. A 740 sq. ft. outdoor, uncovered concrete patio is also proposed to be added adjacent to the existing structure, primarily for the use of the coffee and wine bar patrons. The Board of Adjustment may choose to approve or deny either use independent of the other.

Applicant/Owner: Burkhart Management Group LLC  
Location: 17025 Mt. Rose Hwy (formerly known as the Lodge at Galena restaurant)  
APN: 047-161-13  
Parcel Size: ±.99-ac.  
Master Plan: Commercial  
Regulatory Zone: Neighborhood Commercial  
Area Plan: Forest  
CAB: So. Truckee Meadows/Washoe Valley  
Dev. Code: Article 808, Administrative Permits  
Comm. District: 2 – Commissioner Lucey



### STAFF RECOMMENDATION

APPROVE

**APPROVE WITH CONDITIONS**

DENY

### POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and received during the public hearing, the Board of Adjustment approve with conditions Administrative Permit Case Number WADMIN18-0009 for Burkhart Management Group, for both of the proposed uses, having made all four findings in accordance with Washoe County Development Code Section 110.808.25 and the additional finding required by the Forest Area Plan.

*(Motion with Findings on Page 11)*

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**Exhibit Contents**

Conditions of Approval.....Exhibit A

Comments from Reviewing Agencies.....Exhibit B

Draft Minutes of July 5, 2018 Citizen Advisory Board Meeting ..... Exhibit C

Public Notice Map ..... Exhibit D

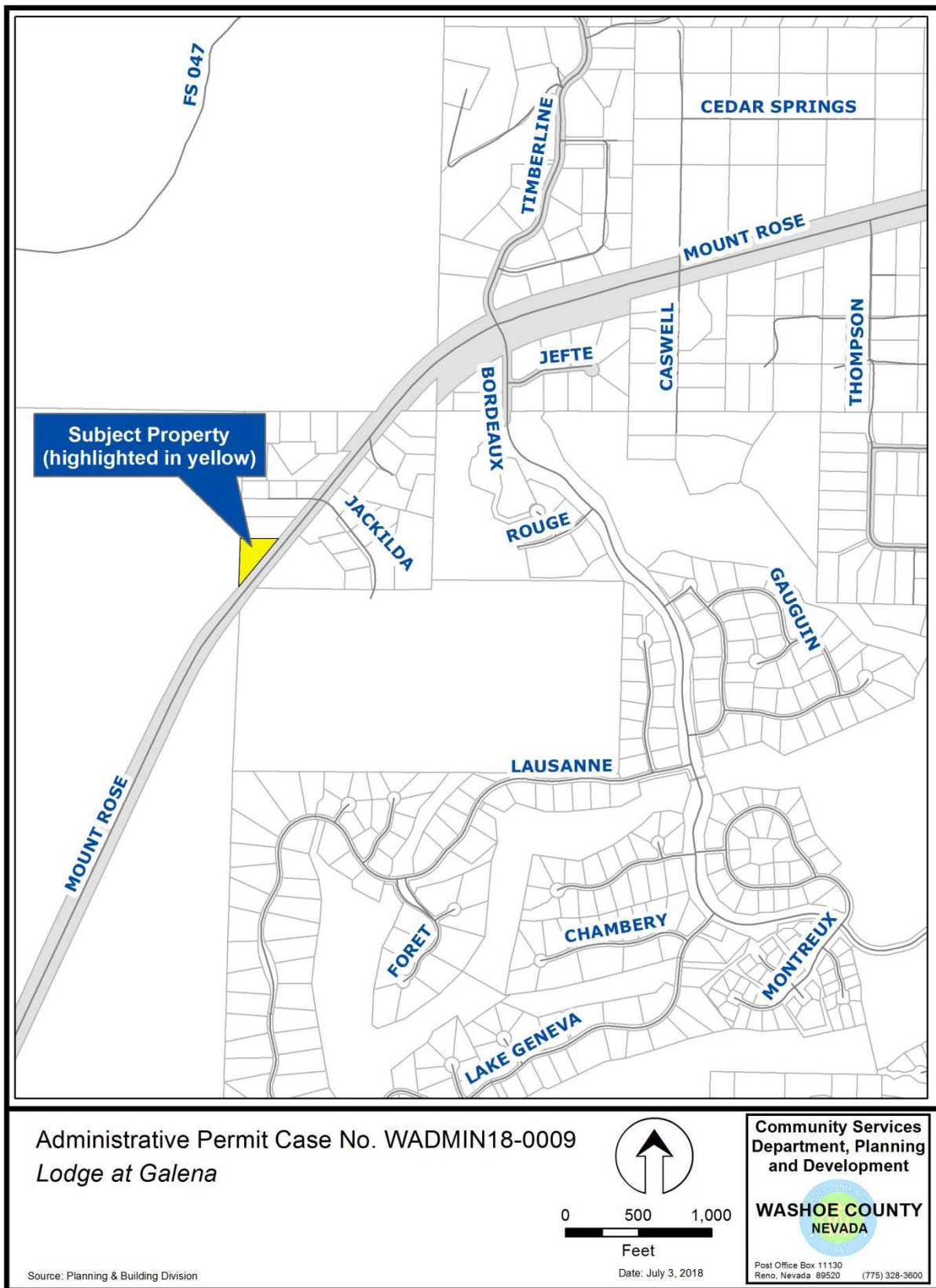
Project Application .....Exhibit E

**Administrative Permit Definition**

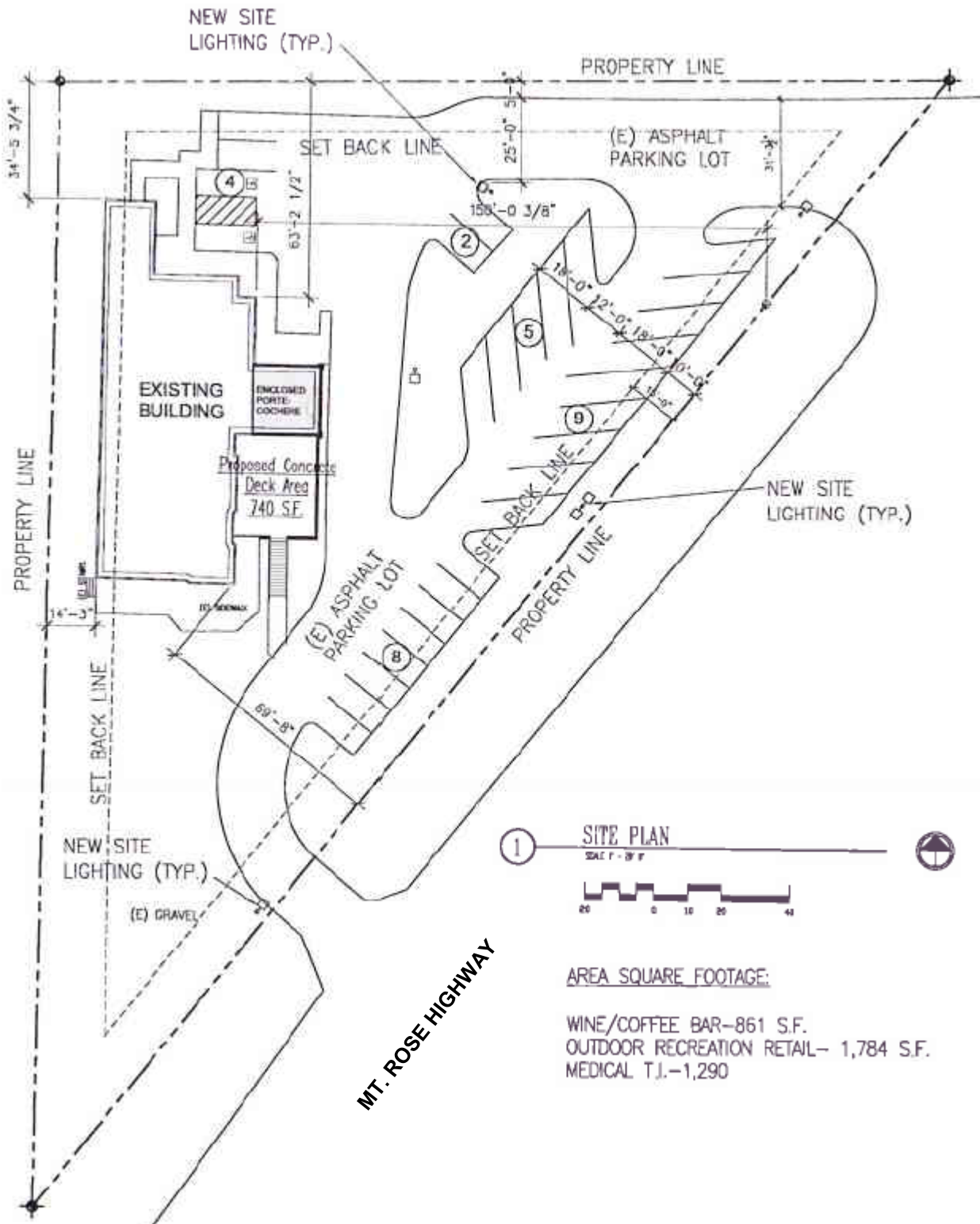
The purpose of an Administrative Permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The Conditions of Approval for Administrative Permit Case Number WADMIN18-0009 is attached to this staff report and will be included with the Action Order, if the request is approved.

The subject property is designated as Neighborhood Commercial (NC). The applicant is seeking to operate Snowind Sports, classified under the Retail Sales – Specialty Stores use type; and a wine/coffee bar, classified under the Liquor Sales – On-Premises use type. Both use types require an administrative permit in order to operate within the NC regulatory zone. Thus, the applicant is seeking approval of this administrative permit application from the Board of Adjustment.



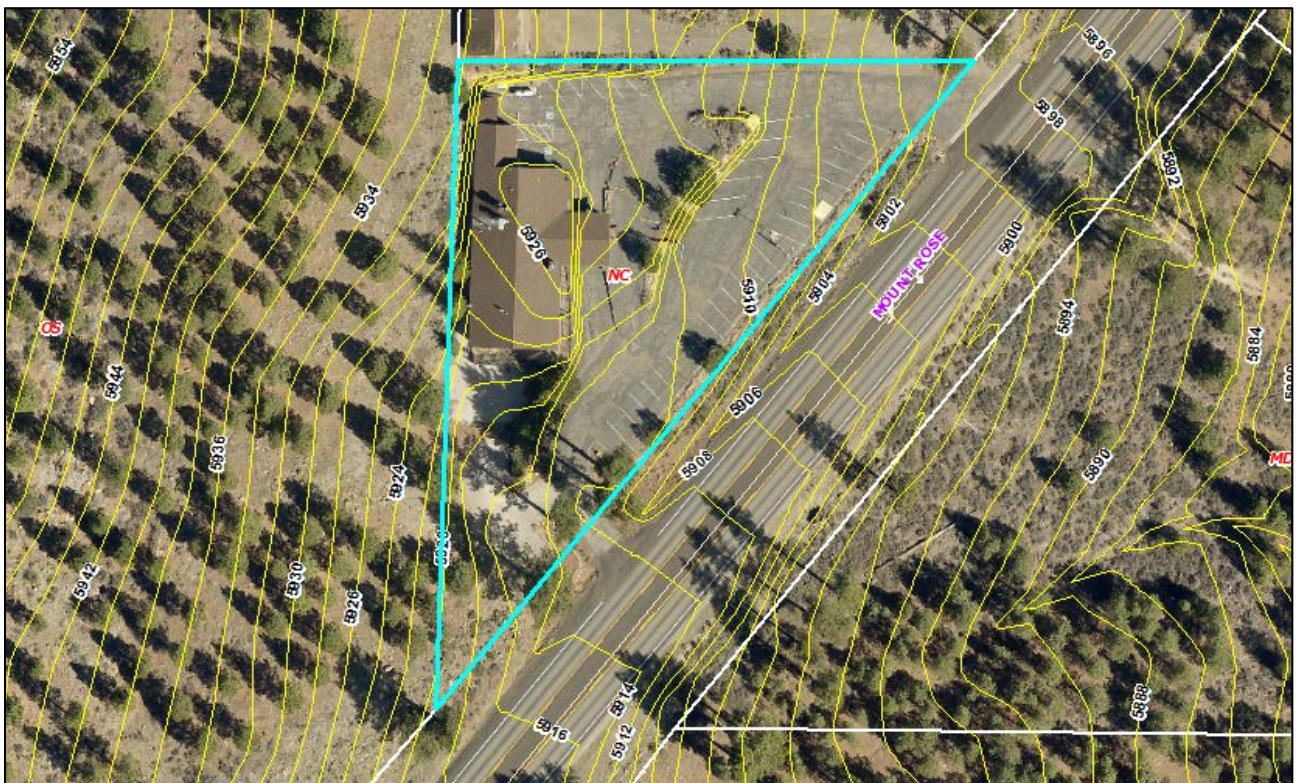
**Vicinity Map**



**Site Plan**



**Aerial Photo Showing Surrounding Regulatory Zones**  
(Subject site outlined in blue.)



**Aerial Photo with 2-foot Contours**



*From south side of property, looking north at existing structure and parking lot*



*Looking northwest at existing structure (currently being remodeled)*



*Looking south along Mt. Rose Highway from property's southern driveway*

**Site Photos**

## **Project Evaluation**

The subject site is located at 17025 Mt. Rose Hwy, approximately ½ mile southwest of the intersection with Timberline Dr. It is within the Mt. Rose Scenic Highway Commercial Overlay District. The ±.99-acre parcel has a regulatory zone of Neighborhood Commercial (NC). The property formerly housed the Lodge at Galena restaurant, which has been closed for several years. The current owner is in the process of completing an interior remodel of the existing structure, allowing for three separate tenants. The business operations for two of the tenants require an administrative permit within the NC regulatory zone. These uses include: (1) Snowind Sports, classified within the Retail Sales – Specialty Stores use type; and (2) a wine/coffee bar, classified within the Liquor Sales – On-Premises use type.

The existing structure is approximately 4,135 square feet. The retail sales use type is proposed to occupy 1,700 square feet, while the wine and coffee bar is proposed to occupy 800 square feet. The remaining square footage will be occupied by a doctor's office, which is classified within the Medical Services use type and is an allowed use within the NC regulatory zone. A 740 sq. ft. outdoor, uncovered concrete patio is also proposed to be added adjacent to the existing structure, primarily for the use of the coffee and wine bar patrons.

As proposed by the applicant, hours of operation for both businesses are 7 a.m. to 7 p.m. on weekdays, and 7 a.m. to 8 p.m. on weekends. A recommended condition of approval memorializing these hours has been included with Exhibit A.

The commercial property has two existing driveways off of Mt. Rose Highway that will continue to be used with the new tenants. A center turn lane exists along the highway portion abutting this property, which facilitates access in and out of the two driveways. As indicated by the traffic letter included with the application, the development is expected to generate 35 a.m. peak hour trips and 30 p.m. peak hour trips. These figures are based off of a presumed 83% pass-by rate for the coffee shop portion of the business. The Washoe County Traffic Engineer has reviewed the applicant's traffic calculations and identified that no additional conditions of approval are necessary to address traffic impacts from the proposed uses.

Prior to the issuance of any business licenses, the development will be required to meet all applicable Development Code standards related to parking, landscaping, lighting and screening. The property must also meet all applicable standards within Washoe County Code Section 110.204.05, *Mt. Rose Scenic Roadway Corridor Standards*. This section provides standards related to setbacks, parking areas, architecture, signage, etc. intended to protect the aesthetics of the Mt. Rose Scenic Corridor.

The change in use within the structure will trigger compliance with all currently adopted Building Codes, and the appropriate building permits are required to be obtained.

As is visible on the aerial photo on page 5 of this staff report, a mix of regulatory zones are nearby. To the north are other Neighborhood Commercial properties. To the west is federally-owned land with a regulatory zone of Open Space. To the east across the highway is a 3.2-acre Medium Density Suburban parcel, with Low Density Suburban properties further to the east.

Impacts from the proposed uses are anticipated to be minimal and can be adequately mitigated with the recommended conditions of approval. It is staff's opinion that the proposed uses are well-suited to this Neighborhood Commercial property.

## **South Truckee Meadows/Washoe Valley Citizen Advisory Board (STM/WV CAB)**

The application was presented to the STM/WV CAB at the regularly scheduled meeting of July 5, 2018. The CAB voted unanimously to recommend approval of the project. Draft meeting minutes have been attached to this staff report as Exhibit C.



Questions during the meeting focused on lighting, hours of operation and previous liquor licenses on the property. Two members of the public spoke in favor of the request.

### **Reviewing Agencies**

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
  - Engineering and Capital Projects Division
  - Planning and Building Division
  - Utilities/Water Rights
- Washoe County Health District
  - Environmental Health Services Division
  - Emergency Medical Services Program
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Nevada Department of Transportation
- Nevada Division of Water Resources
- U.S. Forest Service
- Washoe-Storey Conservation District
- Truckee Meadows Water Authority

Several of the above-listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided below. The Conditions of Approval document is attached to this staff report and will be included with the Action Order if the request is approved.

- Washoe County Planning Program addressed operational requirements in effect for the life of the project, and other Development Code standards.  
**Contact: Kelly Mullin, 775.328.3608, [kmullin@washoecounty.us](mailto:kmullin@washoecounty.us)**
- Washoe County Building Program requires the appropriate building permits be obtained, including for the change of use. The structure must also meet current adopted codes.  
**Contact: Mojra Hauenstein, 775.328.3619, [mhauenstein@washoecounty.us](mailto:mhauenstein@washoecounty.us)**
- Washoe County Water Management Planner Coordinator provided conditions related to water rights and water demand associated with the proposed project.  
**Contact: Vahid Behmaram, 775.954.4647, [vbehmaram@washoecounty.us](mailto:vbehmaram@washoecounty.us)**
- Nevada Division of Water Resources provided comments related to water rights associated with the well on the property.  
**Contact: Steve Shell, 775.684.2836, [sshell@water.nv.gov](mailto:sshell@water.nv.gov)**
- Washoe County Health District, Environmental Health Services Division identified that the development must become a permitted public water system.  
**Contact: Wes Rubio, 775.328.2635, [wrubio@washoecounty.us](mailto:wrubio@washoecounty.us)**

The Washoe County Engineering and Capital Projects Division, Regional Transportation Commission and the Health District's Emergency Medical Services Program reviewed the application and indicated they had no comments or conditions of approval.

### **Staff Comment on Required Findings**

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Forest Area Plan.

**Staff Comment:** The proposed uses do not conflict with the provisions of the Master Plan and Forest Area Plan. The property is located within a designated commercial area along Mt. Rose Highway and the development is required to meet the associated scenic corridor standards.

2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

**Staff Comment:** The existing commercial property and structure are served by adequate facilities for the proposed use, and the project will be required to become a permitted public water system in order to operate.

3. **Site Suitability.** That the site is physically suitable for the type of development, and for the intensity of the development.

**Staff Comment:** The site is already developed for a commercial use and is appropriate for the specific uses proposed. Prior to being able to operate, the property will be required to meet all applicable codes including for landscaping, parking, lighting, etc.

4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

**Staff Comment:** The proposed uses are anticipated to have minimal negative impacts on the surrounding area. Recommended conditions of approval are expected to mitigate potential impacts to the extent possible.

5. **Effect on a Military Installation.** If a military installation is required to be noticed pursuant to this article, the effect of the issuance of the permit will not be detrimental to the location, purpose and mission of the military installation.

**Staff Comment:** No military installation is located within 3,000 feet of the subject site; therefore, this finding is not applicable and is not included with the recommended motion.

Forest Area Plan Policy F.2.13 requires the following finding be made in order to approve an administrative permit:

- F.2.13 The community character as described in the Character Statement can be adequately conserved through mitigation of any identified potential negative impacts.

**Staff Comment:** Staff believes the proposed uses are well-suited to this property and to the Neighborhood Commercial regulatory zone. The property is located within a designated commercial area along Mt. Rose Highway and will be required to meet associated scenic corridor standards. The community character is not anticipated to be negatively impacted by the proposed uses.

## **Recommendation**

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Administrative Permit Case Number WADMIN18-0009 is recommended for approval with conditions. Staff offers the motion below for the Board's consideration.

## **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and received during the public hearing, the Board of Adjustment approve, with conditions, Administrative Permit Case Number WADMIN18-0009 for Burkhart Management Group, for both of the proposed uses, having made all four findings in accordance with Washoe County Code Section 110.808.25, and the additional finding required by the Forest Area Plan:

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Forest Area Plan;
2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. **Site Suitability.** That the site is physically suitable for the type of development, and for the intensity of such a development; and
4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

F.2.13 The community character as described in the Character Statement can be adequately conserved through mitigation of any identified potential negative impacts.

## **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of Commissioners, in which case the outcome of the appeal shall be determined by that Board. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant/Owner: Burkhart Management Group, LLC  
Attn: Tom Burkhart  
6593 Champetre Ct.  
Reno, NV 89511

Representatives: Architects + LLC  
Attn: Gregory Erny  
35 Martin St.  
Reno, NV 89509



# Conditions of Approval

Administrative Permit Case Number WADMIN18-0009

The project approved under Administrative Permit Case Number WADMIN18-0009 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on August 2, 2018. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

**Unless otherwise specified**, all conditions related to the approval of this Administrative Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Administrative Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Administrative Permit may result in the initiation of revocation procedures.

Operational Conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the Operational Conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

**The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies:**

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning Program**

1. The following conditions are requirements of the Planning Program, which shall be responsible for determining compliance with these conditions.

**Contact: Kelly Mullin, 775.328.3608, [kmullin@washoecounty.us](mailto:kmullin@washoecounty.us)**

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit.
- b. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- c. The applicant shall attach a copy of the Action Order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- e. Prior to the issuance of a building permit, the applicant shall provide a lighting plan and photometric study showing no light spillover across the parcel boundaries.
- f. Prior to the issuance of any business license for the development, the applicant shall submit a landscaping and design plan to the Planning and Building Division for review and approval. Said plan shall address parking, parking lot circulation and striping, signage, exterior lighting, trash enclosures, landscaping and plant material, type and size of plants, maturation size at full growth, landscaping location, and landscaping irrigation system.
- g. Prior to the issuance of a business license, the applicant shall provide appropriate screening for all storage tanks, mechanical and electrical equipment in accordance with the provisions of the Development Code.
- h. No business license or building permit shall be issued unless the applicable provisions of Washoe County Code Section 110.204.05, *Mt. Rose Scenic Roadway Corridor Standards* have been met.

- i. Prior to the issuance of a business license or building permit, the applicant shall meet all applicable standards and policies of the Forest Area Plan, including, but not limited to Policies F.2.2, F.2.5, F.2.6, F.2.8, F.2.14, and F.3.5.
- j. All landscaping, irrigation and screening shall be completely installed and shall satisfy the requirements as set forth in the Washoe County Development Code prior to issuance of a Certificate of Occupancy.
- k. The following **Operational Conditions** shall be required for the life of the business:
  - i. This administrative permit shall remain in effect until or unless it is revoked or is inactive for one year.
  - ii. This administrative permit shall remain in effect as long as the use is in operation and maintains a valid business license.
  - iii. Failure to comply with the conditions of approval shall render this approval null and void.
  - iv. Hours of operation for the uses subject to this administrative permit are limited to 7 a.m. to 7 p.m. Monday through Friday, and 7 a.m. to 8 p.m. Saturday through Sunday.
  - v. All lighting and noise generated by the site shall comply with the provisions of the Washoe County Development Code and Forest Area Plan.
  - vi. The applicant and any successors shall direct any potential purchaser/operator of the site and/or this permit to meet with the Planning and Building Division to review conditions of approval prior to the final sale of the site and/or this permit. Any subsequent purchaser/operator of the site and/or this permit shall notify the Planning and Building Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

### **Washoe County Building Program**

2. The following conditions are requirements of the Building Program, which shall be responsible for determining compliance with these conditions.

**Contact: Mojra Hauenstein, 775.328.3619, [mhauenstein@washoecounty.us](mailto:mhauenstein@washoecounty.us)**

- a. The applicant shall obtain the appropriate building permits and comply with all adopted Building Codes.
- b. The tenant improvement entails a change in use according to the building codes (I-Codes). Changing to a sports retail use (M Occupancy) from a restaurant (A-3 Occupancy) triggers compliance with all currently adopted Building codes located at: [www.washoecounty.us/building/Building%20Codes.php](http://www.washoecounty.us/building/Building%20Codes.php).

### **Washoe County Water Management Planner Coordinator**

3. The following conditions are requirements of the Water Management Planner Coordinator, who shall be responsible for determining compliance with these conditions.

**Contact: Vahid Behmaram, 775.954.4647, [vbehmaram@washoecounty.us](mailto:vbehmaram@washoecounty.us)**

- a. The applicant shall file the necessary documents and a "Report of Conveyance" with the Nevada Division of Water Resources (NDWR) to bring title to the subject water rights current to the owners of the land and project "Burkhart Management Group LLC".
- b. Prior to the issuance of a business license, the applicant shall provide estimated water demand for all proposed projects past and currently proposed on this site. The fixture

unit count method may be used to arrive at this estimate and shall be provided for Washoe County's review.

- c. If the estimated water demand exceeds the available water rights, the applicant must secure and transfer additional water rights to the well on this site. If the estimated water demand is equal to or less than the available water rights, then the project is in conformance, subject to condition 3(a). If future water consumption data as required by the NDWR indicates an over-consumption of water, then the applicant must secure and transfer additional water rights to the well on this site to the satisfaction of both NDWR and Washoe County within 90 days of notification. Lack of sufficient water rights at any time in the future may revoke the approval of this project.

**Washoe County Health District (WCHD)**

4. The following condition is a requirement of the Washoe County Health District, which shall be responsible for determining compliance with the condition. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

**Contact: Wes Rubio, 775.328.2635, [wrubio@washoecounty.us](mailto:wrubio@washoecounty.us)**

- a. Prior to the issuance of a final inspection or Certificate of Occupancy for the building, the development must be permitted as a Public Water System and meet the minimum operational requirements.

**\*\*\* End of Conditions \*\*\***

**From:** [Hauenstein, Mojra](#)  
**To:** [Mullin, Kelly](#)  
**Subject:** review memo comments  
**Date:** Friday, June 22, 2018 1:44:08 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)

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Hi Kelly:

Item 1) 18-0009 The Lodge at Galena : requires a Building permit and must comply with all adopted Building Codes .

The TI entails a change in Use according to the building codes (I codes0

For a sports retail use ( M occupancy) from a restaurant (A-3 Occupancy)- this triggers compliance with all currently adopted Building codes located at:

<https://www.washoecounty.us/building/Building%20Codes.php>

Item 2) Variance- no comment

Thanks.



**Mojra Hauenstein, Architect, AICP Planner, LEED AP Neighborhood Development**  
**Director of Planning & Building | Community Services Department**

[mhauenstein@washoecounty.us](mailto:mhauenstein@washoecounty.us) | Office: 775.328.3619

1001 E. Ninth St., Bldg. A, Reno, NV 89512



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**WASHOE COUNTY**  
**COMMUNITY SERVICES DEPARTMENT**  
**Engineering and Capital Projects**

1001 EAST 9<sup>TH</sup> STREET  
PO BOX 11130  
RENO, NEVADA 89520-0027  
PHONE (775) 328-3600  
FAX (775) 328.3699

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**INTEROFFICE MEMORANDUM**

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**DATE:** July 09, 2018

**TO:** Kelly Mullin, Planning and Building Division

**FROM:** Leo R. Vesely, P.E., Engineering and Capitol Projects Division

**cc:** Clara Lawson, P.E., Engineering and Capitol Projects Division  
Timothy Simpson, P.E. Engineering and Capital Projects Division

**SUBJECT: WADMIN18-0009**  
**APN 047-161-13**  
**LODGE AT GALENA ADMINISTERATIVE PERMIT**

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Washoe County Engineering and Capital Project staff has reviewed the referenced administrative permit case and have no conditions or comments with respect to Drainage (County Code 110.420), Grading (County Code 110.438), Traffic and Roadway (County Code 110.436) or Utilities (County Code 110.422 & Sewer Ordinance).

LRV/lrv



**INTEGRITY**



**EFFECTIVE  
COMMUNICATION**



**QUALITY  
PUBLIC SERVICE**

**WASHOE COUNTY  
HEALTH DISTRICT**  
ENHANCING QUALITY OF LIFE

July 9, 2018

Kelly Mullin, Planner  
Washoe County Community Services  
Planning and Development Division  
PO Box 11130  
Reno, NV 89520-0027

RE: Lodge at Galena; APN 047-161-13  
Administrative Permit; WADMIN18-0009

Dear Ms. Mullin:

The following conditions are requirements of the Washoe County Health District, Environmental Health Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Wesley Rubio, 775.328.2434, [wrubio@washoecounty.us](mailto:wrubio@washoecounty.us)**

- a. Prior to issuance of the Certificate of Occupancy for the building, the “Lodge at Galena” must be permitted as a Public Water System and meet the minimum operational requirements.

If you have any questions or would like clarification regarding the foregoing, please contact Wes Rubio, Senior Environmental Health Specialist at [wrubio@washoecounty.us](mailto:wrubio@washoecounty.us) regarding all Health District comments.

Sincerely,



James English, REHS, CP-FS  
EHS Supervisor  
Waste Management/Land Development Programs

JE:wr

**From:** Steve Shell  
**To:** [Mullin, Kelly](#)  
**Subject:** WADMIN18-0009 (Lodge at Galena)  
**Date:** Friday, June 22, 2018 8:28:06 AM

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Washoe County APN 047-161-13 has commercial water rights associated with a well on the subject property in the name of Julius and Ingeborg Weiss.

This water right, Division of Water Resources Permit Number 41986, Certificate 12941, is in good standing and is valid for 295,000 gallons annually (0.90 acre-feet annually.)

Additionally the property lies within the Truckee Meadows Water Authority service area.



State of Nevada  
Department of Conservation & Natural Resources  
**Division of Water Resources**  
Jason King, P.E., State Engineer

*Steve Shell*  
*Water Resource Specialist II*

Nevada Dept of Conservation & Natural Resources  
Division of Water Resources  
901 S. Stewart St., Ste. 2002  
Carson City, NV 89701  
Phone: 684-2836  
Fax: 684-2811  
[sshell@water.nv.gov](mailto:sshell@water.nv.gov)  
[water.nv.gov](http://water.nv.gov)



**WASHOE COUNTY**  
**COMMUNITY SERVICES**  
**INTEGRITY COMMUNICATION SERVICE**

P.O. Box 11130  
Reno, Nevada 89520-0027  
Phone: (775) 328-3600  
Fax: (775) 328-3699

June 26, 2018

TO: Kelly Mullin, Planner, CSD, Planning & Building Division

FROM: Vahid Behmaram, Water Management Planner Coordinator, CSD

SUBJECT: Administrative Permit Case Number WADMIN18-0009 (Lodge at Galena)

**Project description:**

The applicant is proposing two separate uses each requiring an administrative permit on the property: (1) Snowind Sports, classified under the Retail Sales – Specialty Stores use type; and (2) a wine/coffee bar, classified under the Liquor Sales – On-Premises use type.

Location: 17025 Mt. Rose Hwy, approximately ½ mile southwest of the intersection with Timberline Dr. Assessor's Parcel Number: 047-161-13

*The Community Services Department (CSD) recommends approval of this project with the following comments and Water Rights conditions:*

***Comments:***

- 1) Data obtained from the State of Nevada Division of Water Resources (NDWR) web-site indicates ground water rights permit # 41986 appurtenant to the project site. The website indicates an available duty of 0.295 Million Gallons Annually (MGA) or 0.90 Acre-Feet Annually (AFA) available under this permit. The data also indicates a different ownership than the applicants to this project. See attached excerpts from NDWR.
- 2) Item # 13-1 in the application claims “no additional water demand is required for this site”, see attached excerpt. However the proposed Wine/Bar/Coffee addition does introduce an additional water demand as proposed. It is unlikely that this addition will not have any water fixtures.

***Conditions:***

- 1) Applicant shall file necessary documents and a “Report of Conveyance” with NDWR to bring title to the subject water rights current to the owners of the land and project “Burkhart Management Group LLC”.
- 2) Prior to the issuance of a business license, the applicant shall provide estimated water demand for all proposed projects past and proposed on this site. The fixture unit count



# WASHOE COUNTY

## COMMUNITY SERVICES

### INTEGRITY COMMUNICATION SERVICE

P.O. Box 11130  
Reno, Nevada 89520-0027  
Phone: (775) 328-3600  
Fax: (775) 328-3699

- method may be used to arrive at this estimate and provided for Washoe County's review.
- 3) If the estimated water demand exceeds the available water rights, the applicant must secure and transfer additional water rights to the well on this site. If the estimated water demand is equal or less than the available water rights, then the project is in conformance, subject to condition #1. If future water consumption data as required by the NDWR indicates an over-consumption of water, then the applicant must secure and transfer additional water rights to the well on this site to the satisfaction of both NDWR and Washoe County within 90 days of notification. Lack of sufficient water rights at any time in the future may revoke the approval of this project.

**THE STATE OF NEVADA**

**CERTIFICATE OF APPROPRIATION OF WATER**

~ ~ ~ ~ ~

WHEREAS, George W. Ball, Agent has presented to the State Engineer of the State of Nevada Proof of Application of Water to Beneficial Use, from an Underground Source through a drilled well, pump and distribution system for Commercial purposes. The point of diversion of water from the source is as follows:

NW1/4 NW1/4 Section 3, T.17N., R.19E.,  
M.D.B.&M. or at a point from which the NW  
corner of said Section 3 bears N. 0° 00' 50"  
E., a distance of 890.07 feet situated in  
Washoe County, State of Nevada.

NOW KNOW YE, That the State Engineer, under the provisions of NRS 533.425, has determined the date, source, purpose, amount of appropriation, and the place where such water is appurtenant, as follows:

Name of appropriator:	Julius Weiss and Ingeborg Weiss
Source:	Underground
Manner of Use:	Commercial
Amount of appropriation:	0.036 c.f.s. but not to exceed <u>0.295 million gallons annually</u>
Period of use:	January 1st to December 31st of each year
Date of priority of appropriation:	August 8, 1980

= 0.9 AFA

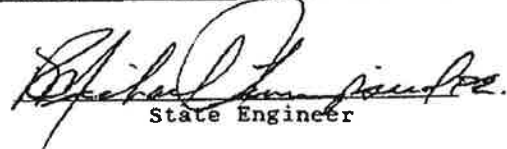
**Description of the works of diversion, manner and place of use:**

Water is developed by means of a drilled well 145 feet deep, 6 5/8 inch casing, via a 3/4 H.P. 22 stage Grunfuss pump, thence through a distribution system to a restaurant with a seating capacity of 76 people located within the S1/2 of NW1/4 NW1/4 Section 3, T.17N., R.19E., M.D.B.&M.

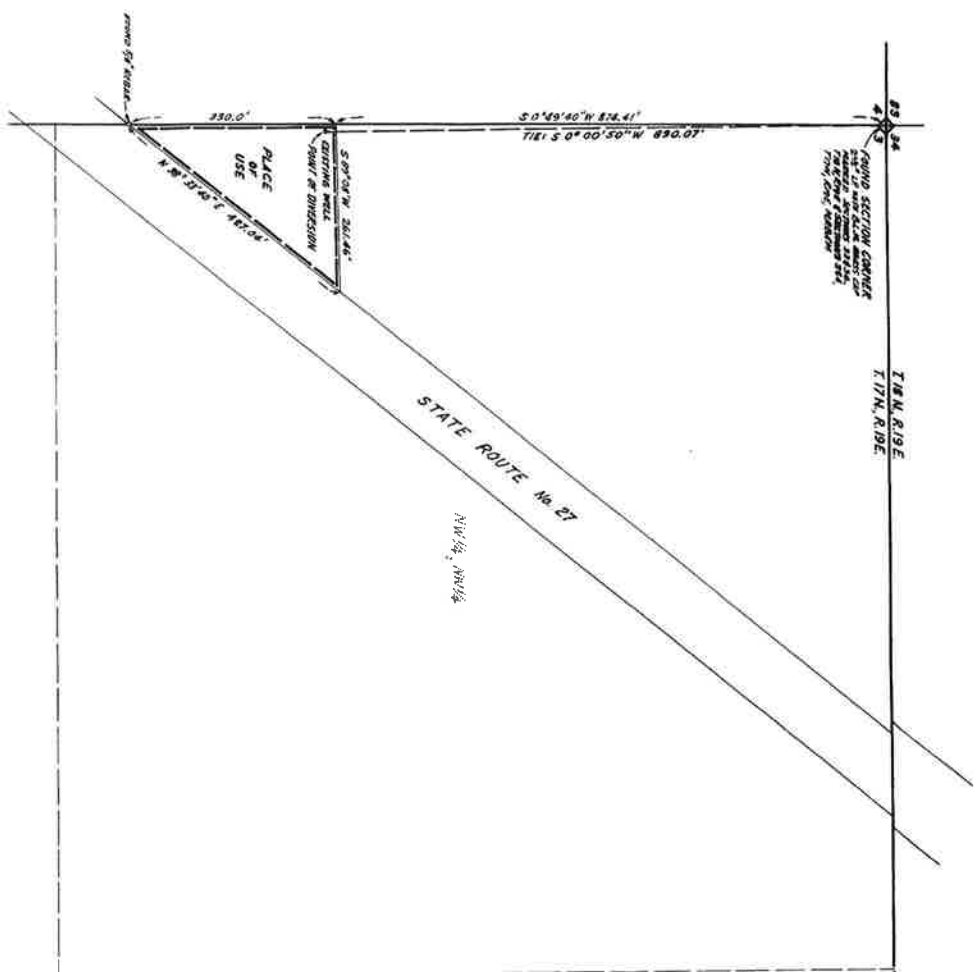
This certificate is issued subject to the terms of the permit.

The right to water hereby determined is limited to the amount which can be beneficially used, not to exceed the amount above specified, and the use is restricted to the place and for the purpose as set forth herein.

IN TESTIMONY WHEREOF, I R. MICHAEL TURNIPSEED, State Engineer of Nevada, have hereunto set my hand and the seal of my office, this 19th day of AUGUST, A.D. 19 91.

  
State Engineer

bk/vjw



BEARING STATION  
CELESTIAL MOUNTAIN  
PLACE OF USE

T17N. R19E

STATE ROUTE No. 27

N 1/4 Sec 18

S 0° 49' 40" N 874.41'  
T17E S 0° 00' 05" S 1211.890.07'

S 89° 08' 28" W 364.44'  
BEARING STATION  
CELESTIAL MOUNTAIN  
PLACE OF USE

FROM S.W. CORNER

OFFICE  
STATE ENGINEER

FILED  
MAY 13 1982  
STATE ENGINEER

STATE OF NEVADA }  
COUNTY OF WASHINGTON }  
I, WILLIAM F. PILLSBURY, Being First Duty Surveyor,  
Do hereby certify that this map containing the description of one  
acre and shall conform to the description of one  
acre, has been prepared by me in my capacity as Surveyor. Witness my hand  
and the seal of my office this 13th day of May 1982.  
WILLIAM F. PILLSBURY, Surveyor  
STATE ENGINEER

STATE OF NEVADA }  
COUNTY OF WASHINGTON }  
Subscribed and sworn to before me, this 27th day of  
August, 1982.

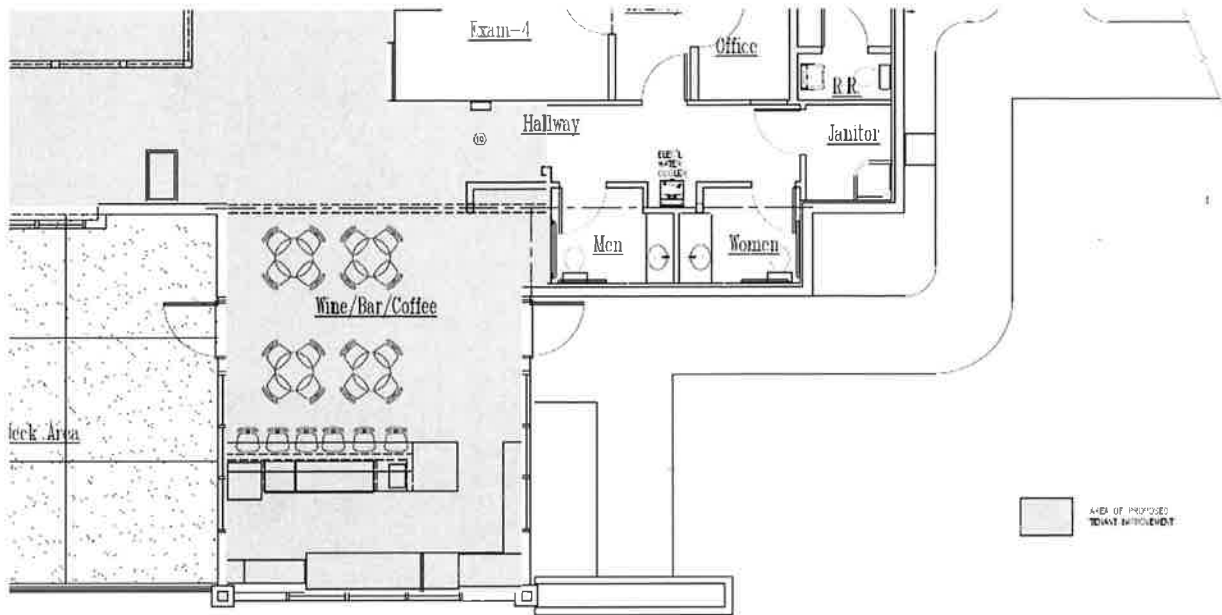
Walter L. Pillsbury, Walter L. Pillsbury Co., Nevada  
Notary Public within the said County and State

THE MERIDIAN OF THIS SURVEY IS BASED  
ON THE MERIDIAN OF THE STATE ENGINEER'S  
FILE WITH THE NEVADA STATE HIGHWAY DEPT.  
IN CARSON CITY, NEVADA.



MAP  
TO ACCOMPANY APPLICATION TO  
APPROPRIATE WATER FROM AN  
UNDERGROUND SOURCE FOR  
COMMERCIAL USE  
BY: GAUDENZ DEJUNES, GAIUS L. DEJUNES  
WALTER ZAHND AND PAULINE ZAHND  
WILLIAM F. PILLSBURY  
STATE WATER ENGINEER SURVEYOR No. 4198

41986



For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

No additional water demand is required for this use. Restrooms, drinking fountains, etc. are included in the previously approved building permit for the remodel of the building shell and site improvements.





# South Truckee Meadows/Washoe Valley Citizens Advisory Board

## MEMORANDUM

**Date:** July 5, 2018  
**To:** Kelly Mullin, Washoe County Planners  
**Re:** Administrative Permit Case Number WADMIN18-0009 (Lodge at Galena)  
**From:** Misty Moga, Recording Secretary

The following is an excerpt from the South Truckee Meadows/Washoe Valley Citizen Advisory Board on July 5, 2018.

**6.E. Administrative Permit Case Number WADMIN18-0009 (Lodge at Galena)** – Request for community feedback, discussion and possible action to forward community and Citizen Advisory Board comments to Washoe County staff on a request to allow for two separate uses each requiring an administrative permit on the property: (1) Snowind Sports, classified under the Retail Sales – Specialty Stores use type; and (2) a wine/coffee bar, classified under the Liquor Sales – On-Premises use type. (for Possible Action)

- Applicant/Owner: Burkhart Management Group LLC
- Location: 17025 Mt. Rose Hwy, approximately ½ mile southwest of the intersection with Timberline Dr.
- Assessor's Parcel Number: 047-161-13
- Staff: Kelly Mullin, Planner; 775-328-3608; kmullin@washoecounty.us
- Reviewing Body: Tentatively scheduled for Board of Adjustment, August 2, 2018
  - Tom Burkhart, Property owner, gave an introduction to the application. Tom disclosed that he has now been accepted to be on the CAB as an alternate.
  - The restaurant was abandoned. It had been closed for 4 years. He posted a sign for sale, Bud Hishman (the boot doctor) will run the snow sport rental shop, which will take 40% of the property. Debi Bolandrini will run and manage the coffee and wine bar. The proposed uses fit the commercial zoning.
  - Greg Erny, showed the proposed site plan. A medical office practice on the upper part of the property is permitted already.
  - He provided some history; Galena Forest Inn was in the original building as restaurant and gaming.
  - Giving the face lift to existing building
  - They have a spirits license
  - Operating hours: wine bar will be 3-9pm; Coffee bar would be open around 7 am.
  - Jim Rummings asked about the special lighting. Greg said lighting will be re-done when the parking lot gets re-done. There is no back lit signs allowed. There are lighting ordinances.
  - Bud Hishman said Tunnel Creek Café in Incline Village is ran by Max Jones. Bud said Max runs a rental shop/cafe. The lodge will be a great a local spot for nature, sports, and friends.
  - Jim Rummings said the wine is rapidly growing in the area, he suggested promoting the local wine area. Tom said Debi is working with Whispering Vines.
  - Greg Erny said this operation will be complementary to the area. It will be a nice neighborhood gathering place.
  - Tom Burkhart said he has been telling the community. He cut and pasted all the positive comments from online.

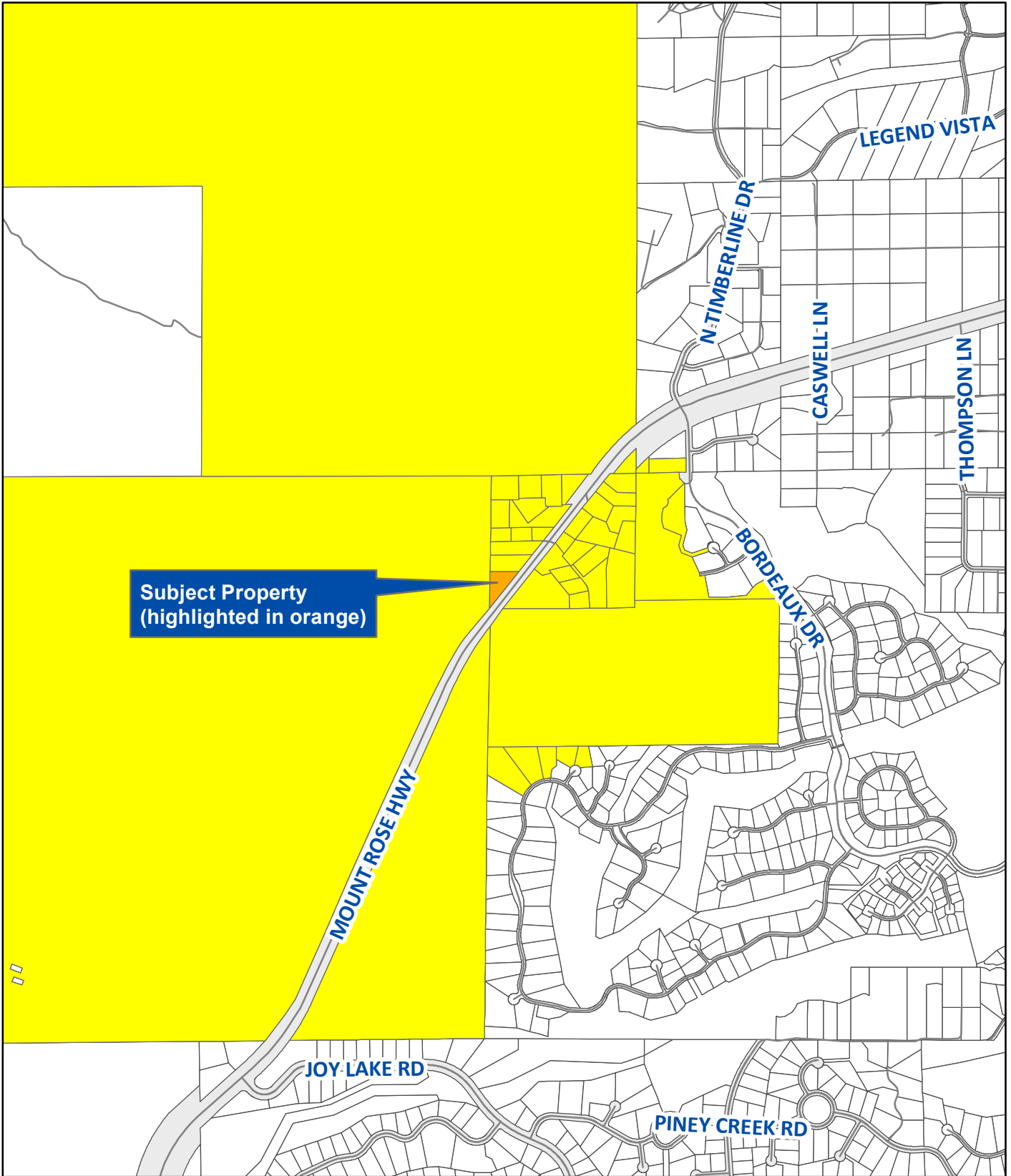
### Comments:

- Marc Radow, resident of Galena Forest, he said he has driven Mt. rose since 1980, and he grew up here. He remembers the lodge as a high-end restaurant lodge. It was a bad day when it went out of

business. He said he is excited that Tom bought the building. He said it's the responsibility of this governing body and Washoe County to encourage investment, create value, and create growth. He understands the updating code, but this was a restaurant prior. He said he understands the fire issues, but there are reasonable solutions. Tom can address these concerns; it doesn't need to take 2 ½ year of delays. He said he is supporting the lodge and encourage Tom and Bud to add value to community.

- Jason Katz said it was the Health Department that caused the delay.
- Chris Oggerino said he lives in the neighborhood. He said he supports this project. He has lived there since 2007. He said he remembers the restaurant and bar; it was great for the neighborhood, and it was sad when it closed. He said this place is an eyesore now, but in favor of the idea. It fits the neighborhood character.

**MOTION: Pat Phillips said moved to recommend approval. Jim Rummings seconded the motion to recommend approval. The motion passed unanimously.**



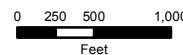
Subject Property  
(highlighted in orange)

Public Notice Map

Administrative Permit Case Number WADMIN18-0009  
(Lodge at Galena)

*Provided with notice: 35 owners of 44 parcels  
within a distance of 1,500 feet of the project site.*

Source: Planning and Building Division



Date: May 18, 2018

Community Services  
Department

WASHOE COUNTY  
NEVADA

Post Office Box 11130  
Reno, Nevada 89520 (775) 328-3600

WADMIN18-0009

EXHIBIT D

Community Services Department  
Planning and Building  
**ADMINISTRATIVE PERMIT APPLICATION**  
**(Care for the Infirm see page 9)**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Outdoor Store - The Lodge at Galena</b>			
Project Description: Tenant improvements inside the existing building shell of a neighborhood commercial development that has been previously permitted and is currently under construction. The proposed tenant spaces are a 1700sf outdoor recreational retail/rental store and an 800sf wine and coffee bar.			
Project Address: 17025 Mt. Rose Highway, Reno, Nevada			
Project Area (acres or square feet): 43,112 sf			
Project Location (with point of reference to major cross streets <b>AND</b> area locator):			
<b>Assessors's Parcel:</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
047-161-13	.989 acres		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s). VA16-007; Building Permit - WBLD17 101990			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Burkhart Management Group LLC		Name: Architects + LLC	
Address: 6593 Champetre Ct., Reno, Nevada		Address: 35 MartinSt.	
Zip: 89511		Reno	Zip: 89509
Phone: 775-870-7202	Fax:	Phone: 775-329-8001	Fax:
Email: tburkhart1938@gmail.com		Email: ernygregory@gmail.com	
Cell:	Other:	Cell: 775-722-6039	Other:
Contact Person: Tom Burkhart		Contact Person: Gregory L. Erny FAIA NCARB	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Burkhart Management Group LLC		Name:	
Address: 6593 Champetre Ct., Reno, Nevada		Address:	
Zip: 89511		Zip:	
Phone:	Fax:	Phone:	Fax:
Email: tburkhart1938@gmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Tom Burkhart		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

July 1, 2017

## Administrative Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 808, Administrative Permits.

1. What is the type of project or use being requested?

1700 sf interior tenant improvement for a new outdoor recreational retail/rental space, Snowind Sports, inside the existing neighborhood commercial building that is currently being remodeled from its former restaurant use. Additionally, an 800 sf wine/coffee bar will be included in the building which is allowed in the neighborhood commercial zoning, per Table 110.302.05.3 of the Washoe County Development Code.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

1700 sf of the 4469 sf space inside the existing neighborhood commercial building is being proposed for an outdoor recreational retail/rental space. 800 sf of the 4469 sf space inside the existing neighborhood commercial building is being renovated to accommodate wine/coffee bar.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

No new exterior improvements are being constructed as part of the work associated with the outdoor recreational retail/rental space. A potential exterior patio area is being proposed as part of the work associated with the wine/coffee bar. The remodel of the existing building that has been previously permitted is currently under construction and includes new exterior new parking and landscaping for the existing property.

4. What is the intended phasing schedule for the construction and completion of the project?

The renovation of the existing building shell is under construction and is planned to be completed by summer of 2018. Tenant improvements are to be completed as soon as possible.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

This is a low intensity use being included in a neighborhood commercial project. The proposed outdoor recreational retail use is intended to provide a convenient and local resource for outdoor enthusiasts, including skiers, hikers, mountain bikers, paddle boarders, etc. particularly those that frequent the Mount Rose and Lake Tahoe areas. The wine and coffee bar will also provide a convenient and local service to neighbors in the Galena area.

6. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

The proposed outdoor recreational retail use will provide convenient access to retail sails and equipment rentals for year round customers needing outdoor resources, particularly those that frequent the Mt. Rose and Lake Tahoe areas. The wine and coffee bar will also provide a convenient and local service to neighbors in the Galena area.

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

There are no negative impacts anticipated on any adjacent properties. The site was originally developed for a restaurant use. The approved renovation of the property includes new and improved parking and landscaping.

Per the Institute of Transportation Engineers (ITE) trip generation rates table, attached herewith, only 9 peak hour trips will be generated by the proposed outdoor recreational retail use. As such, a traffic report has not been performed or included in this application. This information was confirmed with Mr. Paul Solaegui, traffic engineering consultant who provided the copy of the trip generation table attached herewith.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

There are no anticipated negative community impacts. Both the outdoor recreational retail/rental tenant and the wine/coffee bar are services and uses that neighbors have expressed a desire for seeing on the property.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

There are 29 total parking spaces being provided as part of the previously permitted site improvements for the neighborhood commercial center. See attached site and utility plan.  
Parking allocation for the uses included in the center are as follows:  
Medical 1300 sf @ 5/1000 (7) + 1/employee (4) = 11  
Wine / Coffee Bar 800 sf @ 10/1000 (8) + 1/employee (2) = 10  
Outdoor Recreational Retail 1700 sf @ 1/1000 (5) + 1/employee (2) = 7

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

The landscaping for the property have been previously approved under the building permit for remodel of the existing building shell and site improvements. See attached landscaping plan.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No signs are included as part of this application. Site lighting and exterior building lighting have been approved under the permit for remodel of the existing building shell and site improvements. See attached electrical site plan.



12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

13. Utilities:

a. Sewer Service	Community Sewer (See attached site and utility plan)
b. Water Service	Existing well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

i. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

<p>No additional water demand is required for this use. Restrooms, drinking fountains, etc. are included in the previously approved building permit for the remodel of the building shell and site improvements.</p>
--

Property Owner Affidavit

Applicant Name: BURKHART MANAGEMENT GROUP, LLC

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )
COUNTY OF WASHOE )

I, THOMAS N. BURKHART (please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 047-161-13

Printed Name THOMAS N. BURKHART

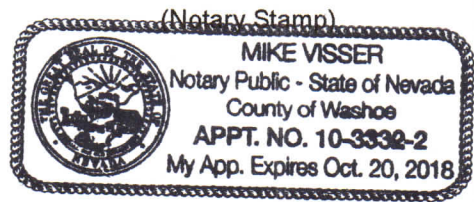
Signed [Signature]

Address 6593 Champetre Ct., Reno, Nevada

Subscribed and sworn to before me this 11th day of May, 2018.

[Signature]
Notary Public in and for said county and state

My commission expires: 10/20/2018



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
Power of Attorney (Provide copy of Power of Attorney.)
Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
Property Agent (Provide copy of record document indicating authority to sign.)
Letter from Government Agency with Stewardship

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

**Washoe County Parcel Information**

Parcel ID	Status	Last Update
04716113	Active	5/10/2018 2:07:24 AM
<b>Current Owner:</b> BURKHART MANAGMENT GROUP LLC		<b>SITUS:</b> 17025 MOUNT ROSE HWY
6593 CHAMPETRE CT RENO, NV 89511		
<b>Taxing District</b> 4000	<b>Geo CD:</b>	
Legal Description		
Township 17 SubdivisionName _UNSPECIFIED Range 19 Section 3		

**Tax Bill (Click on desired tax year for due dates and further details)**

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2017	\$5,628.93	\$5,628.93	\$0.00	\$0.00	\$0.00
2016	\$5,910.62	\$5,910.64	\$0.00	\$0.00	\$0.00
2015	\$5,909.81	\$5,909.81	\$0.00	\$0.00	\$0.00
2014	\$5,726.56	\$5,726.56	\$0.00	\$0.00	\$0.00
2013	\$5,654.04	\$5,654.04	\$0.00	\$0.00	\$0.00
Total					\$0.00

**Important Payment Information**

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

**Pay Online**

No payment due for this account.

**\$0.00**

**Pay By Check**

Please make checks payable to:  
**WASHOE COUNTY TREASURER**

**Mailing Address:**  
 P.O. Box 30039  
 Reno, NV 89520-3039

**Overnight Address:**  
 1001 E. Ninth St., Ste D140  
 Reno, NV 89512-2845

**Payment Information**

**Special Assessment District**

**Installment Date Information**

**Assessment Information**

Average Rate Trip Calculations  
For 1.8 Th.Sq.Ft. GLA of Shopping Center(820) - [R]

Project:  
Phase:

Open Date:  
Analysis Date:

Description:

---

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	42.70	21.25	1.00	77
7-9 AM Peak Hour Enter	0.60	0.00	1.00	1
7-9 AM Peak Hour Exit	0.36	0.00	1.00	1
7-9 AM Peak Hour Total	0.96	1.31	1.00	2
4-6 PM Peak Hour Enter	1.78	0.00	1.00	3
4-6 PM Peak Hour Exit	1.93	0.00	1.00	4
4-6 PM Peak Hour Total	3.71	2.74	1.00	7
Saturday 2-Way Volume	49.97	22.62	1.00	90
Saturday Peak Hour Enter	2.51	0.00	1.00	5
Saturday Peak Hour Exit	2.31	0.00	1.00	4
Saturday Peak Hour Total	4.82	3.10	1.00	9

---

Note: A zero indicates no data available.  
Source: Institute of Transportation Engineers  
Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

SOLAEGUI  
ENGINEERS

June 13, 2018

Ms. Clara Lawson, P.E.  
Washoe County Engineering  
1001 East Ninth Street  
Reno, Nevada 89520

**Re: The Lodge At Galena Forest Remodel, Trip Generation Letter**

Dear Clara:

This letter contains the findings of our trip generation review of the proposed office, retail, coffee shop / wine bar conversion on property located on the Mt. Rose Highway in the Galena Forest area of Washoe County. In 2016 the existing 4,000 square feet building was designated for office use. The current proposed remodel will allocate 1,290 square feet to a dentist office, 1,784 square feet to a retail ski shop and 861 square feet to a coffee shop / wine bar. The 740 square feet outdoor patio will be added to the coffee shop / wine bar area for these trip generation calculations. The project site plan is attached.

Trip generation calculations are based on the Ninth Edition of *ITE Trip Generation* (2012). The calculation sheets are attached for ITE land uses #720: Medical Dental Office Building, #820: Shopping Center, #925: Drinking Place and #936 Coffee Shop. Table 1 shows the trip generation summary for the proposed uses. The coffee shop is an AM peak hour use only and is subject to an 83% pass-by factor based on ITE data. The wine bar is a PM peak hour only use.

---

TABLE 1  
TRIP GENERATION

---

<u>LAND USE</u>	<u>ADT</u>	<u>AM PEAK HOUR TOTAL</u>	<u>PM PEAK HOUR TOTAL</u>
Medical – Dental Office 1,290 Square Feet	47	3	5
Shopping Center 1,784 Square Feet	76	2	7
Coffee Shop with Patio, AM only, (Base value / with ITE Pass-by Reduction) 1,601 Square Feet	n/a	(174 / 30)	0
Drinking Place, PM only 1,601 Square Feet	n/a	0	18
Total, After Pass-by Reduction	n/a	35	30

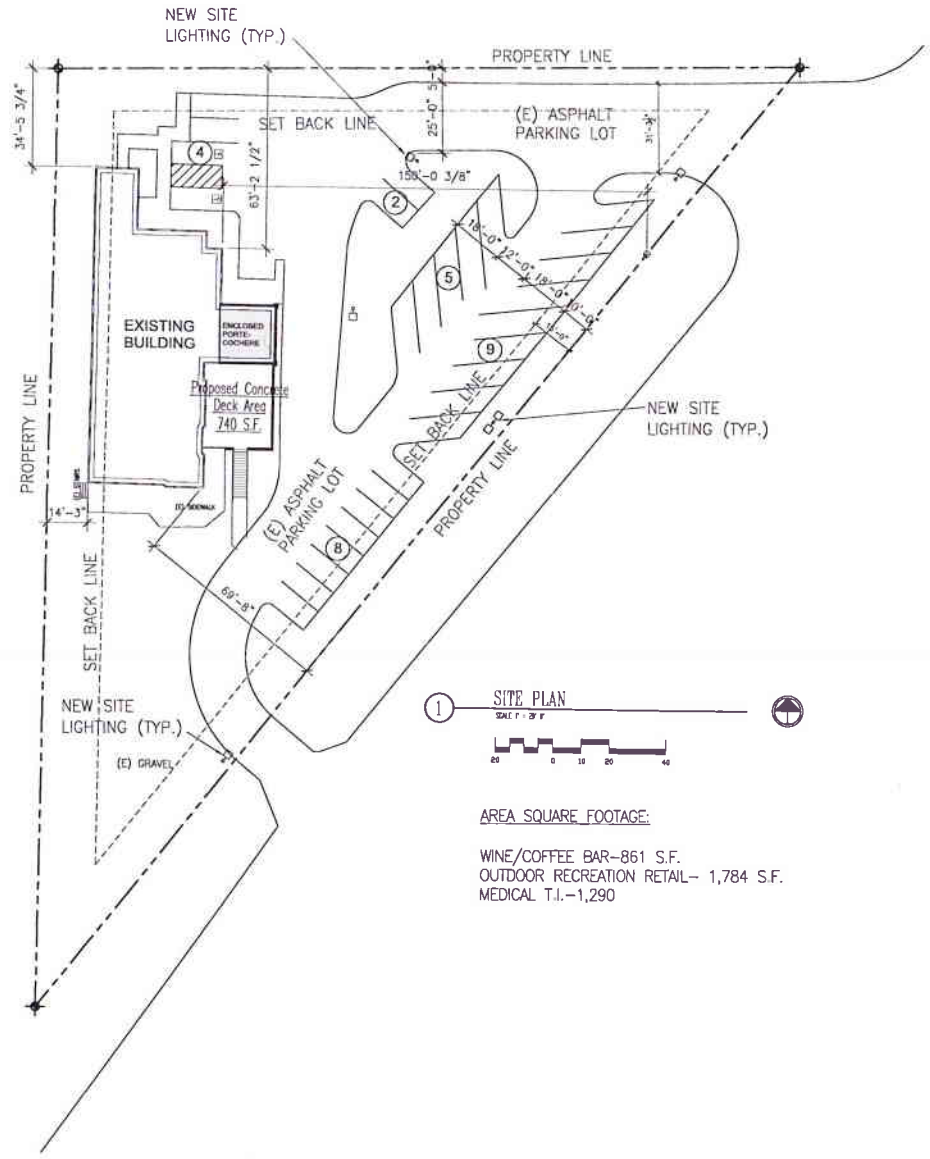
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As indicated in Table 1, ITE has average daily trip totals for only some of the land uses so a full daily total is not provided. There are 179 AM peak hour trips and 30 PM peak hour trips. As stated above the coffee shop land use has a very high pass-by component. The ITE manual indicates an 83% pass-by rate. Accounting for this pass-by component the adjusted "new trip" totals are 35 AM peak hour trips and 30 PM peak hour trips. These adjusted totals are below the 80 peak hour threshold where a full traffic study would be triggered.

We trust that this information will be adequate for your initial project review. Please contact us if you have any questions or comments.



Very truly yours,  
SOLAEGUI ENGINEERS, LTD  
PAUL W. SOLAEGUI  
CIVIL P.E.  
Paul W. Solaegui, P.E.  
6-13-18  
EXP 6-30-20

Enclosures  
Letters/Lodge at Galena Remodel Trip Letter



① SITE PLAN  
SCALE: 1" = 20' F

AREA SQUARE FOOTAGE:  
WINE/COFFEE BAR-861 S.F.  
OUTDOOR RECREATION RETAIL- 1,784 S.F.  
MEDICAL T.I.-1,290

revisions
architects + llc architectural design/build
 72 North 17th Reno, NV 89503 775-329-8801 FAX: 775-329-8926

Project <b>The Lodge at Galena</b> Tenant Improvement 17025 Mt. Rose Hwy Reno, Nevada 89511
sheet title SITE PLAN
drawn by EC checked by EC date 01/26/18 job no. 17025 Mt. Rose Hwy Reno, NV 89511 sheet A-1.0

Average Rate Trip Calculations  
 For 1.29 Th.Sq.Ft. GFA of Medical-Dental Office Building(720) - [R]

Project:

Open Date:

Phase:

Analysis Date:

Description:

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	36.13	10.18	1.00	47
7-9 AM Peak Hour Enter	1.89	0.00	1.00	2
7-9 AM Peak Hour Exit	0.50	0.00	1.00	1
7-9 AM Peak Hour Total	2.39	1.89	1.00	3
4-6 PM Peak Hour Enter	1.00	0.00	1.00	1
4-6 PM Peak Hour Exit	2.57	0.00	1.00	4
4-6 PM Peak Hour Total	3.57	2.47	1.00	5
Saturday 2-Way Volume	8.96	9.17	1.00	12
Saturday Peak Hour Enter	2.07	0.00	1.00	3
Saturday Peak Hour Exit	1.56	0.00	1.00	2
Saturday Peak Hour Total	3.63	1.93	1.00	5

Note: A zero indicates no data available.

Source: Institute of Transportation Engineers  
 Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC



Average Rate Trip Calculations  
For 1.784 Th.Sq.Ft. GLA of Shopping Center(820) - [R]

Project:  
Phase:

Open Date:  
Analysis Date:

Description:

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	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	42.70	21.25	1.00	76
7-9 AM Peak Hour Enter	0.60	0.00	1.00	1
7-9 AM Peak Hour Exit	0.36	0.00	1.00	1
7-9 AM Peak Hour Total	0.96	1.31	1.00	2
4-6 PM Peak Hour Enter	1.78	0.00	1.00	3
4-6 PM Peak Hour Exit	1.93	0.00	1.00	4
4-6 PM Peak Hour Total	3.71	2.74	1.00	7
Saturday 2-Way Volume	49.97	22.62	1.00	89
Saturday Peak Hour Enter	2.51	0.00	1.00	4
Saturday Peak Hour Exit	2.31	0.00	1.00	5
Saturday Peak Hour Total	4.82	3.10	1.00	9

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Note: A zero indicates no data available.  
Source: Institute of Transportation Engineers  
Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

Average Rate Trip Calculations  
 For 1.601 Th.Sq.Ft. GFA of Coffee/Donut Shop without Drive-Thru(936) - [R]

Project:  
 Phase:

Open Date:  
 Analysis Date:

Description:

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	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	0.00	0.00	1.00	0
7-9 AM Peak Hour Enter	55.27	0.00	1.00	88
7-9 AM Peak Hour Exit	53.11	0.00	1.00	86
7-9 AM Peak Hour Total	108.38	47.90	1.00	174
4-6 PM Peak Hour Enter	20.38	0.00	1.00	33
4-6 PM Peak Hour Exit	20.38	0.00	1.00	32
4-6 PM Peak Hour Total	40.75	14.42	1.00	65
Saturday 2-Way Volume	0.00	0.00	1.00	0
Saturday Peak Hour Enter	31.66	0.00	1.00	51
Saturday Peak Hour Exit	34.30	0.00	1.00	55
Saturday Peak Hour Total	65.96	31.10	1.00	106

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Note: A zero indicates no data available.  
 Source: Institute of Transportation Engineers  
 Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

Average Rate Trip Calculations  
 For 1.601 Th.Sq.Ft. GFA of Drinking Place(925) - [R]

Project:  
 Phase:

Open Date:  
 Analysis Date:

Description:

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	0.00	0.00	1.00	0
7-9 AM Peak Hour Enter	0.00	0.00	1.00	0
7-9 AM Peak Hour Exit	0.00	0.00	1.00	0
7-9 AM Peak Hour Total	0.00	0.00	1.00	0
4-6 PM Peak Hour Enter	7.48	0.00	1.00	12
4-6 PM Peak Hour Exit	3.86	0.00	1.00	6
4-6 PM Peak Hour Total	11.34	8.04	1.00	18
Saturday 2-Way Volume	0.00	0.00	1.00	0
Saturday Peak Hour Enter	0.00	0.00	1.00	0
Saturday Peak Hour Exit	0.00	0.00	1.00	0
Saturday Peak Hour Total	0.00	0.00	1.00	0

Note: A zero indicates no data available.  
 Source: Institute of Transportation Engineers  
 Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

**From:** gregory erny  
**To:** [Mullin, Kelly](#)  
**Cc:** [tburkhart1938@gmail.com](mailto:tburkhart1938@gmail.com); [Jim Smrt](#); [Paul Solaegui](#)  
**Subject:** Re: Lodge @ Galena application - incomplete at this time  
**Date:** Friday, May 18, 2018 4:04:00 PM  
**Attachments:** [REVISED Galena Lodge Site Plan-A-1.0 a 05 18 18 Rev1.pdf](#)

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Good Afternoon Kelly,

Attached is the updated site plan indicating the location of the proposed outdoor concrete patio and also the dimensions between the building and the property lines.

The proposed 30 ft x 25 ft (750 sf) outdoor concrete patio is primarily affiliated with the wine/coffee bar. The floor level of the concrete patio will match that of the finish floor of the wine bar. The proposed patio abuts the existing building on two sides. There is no cover over the patio and is anticipated to have table seating with umbrellas. Based on existing grade differentials between The patio will be approximately 5 ft above grade at the south end and have a 42-inch high vertical picket guard around the perimeter. The existing building separates the proposed patio from the rear property line. The distance between the patio and the property line along the Mt. Rose highway exceeds 50 feet.

Per Mr. Burkhart, the proposed hours of operation of the Outdoor Retail/Rental business and the coffee/wine bar are 7am to 7pm during weekdays, and 7am to 8pm on weekends. It should be noted that the coffee bar will operate primarily in the morning with the wine bar operating in the afternoons and evenings. It should be noted that the coffee bar is primarily a local neighborhood amenity and also an amenity to those already patronizing the Outdoor Retail/Rental and medical services tenants in the morning.

Per our discussions earlier today, Mr. Paul Solaegui is attempting to discuss the unique aspects of the traffic situation with Ms. Clara Lawson of Washoe County. The proposed coffee/wine bar use does not fit into the standard traffic analysis categories. As previously stated, the coffee/wine bar area will primarily serve coffee in the morning. Wine and beer will be served primarily in the afternoon and evenings. There is no drive thru facility. The location and nature of the operation at this site does not match the standard 87 peak hour morning trips that might be assigned to an operation such as Starbucks. In the context of this situation, it is anticipated that the only about 50% of the usual morning traffic affiliated with a coffee bar will occur, and the morning peak hour traffic affiliated with the coffee bar will not exceed 40-45 vehicle trips. Combining those 40-45 trips with 9 evening peak hour trips for the wine bar, 13 morning and evening peak hour trips associated with the medical tenant, and 9 peak hour trips with the outdoor recreation retail/rental shop, the total morning/evening peak hour trips for the proposed tenants is 72 to 76 and does not reach the 80 trips that trigger a traffic analysis and report.

At this time, we are waiting to hear the outcomes of the discussions between Mr. Solaegui and Ms. Lawson before moving forward with any further traffic related response.

If there are any questions or concerns regarding the enclosed information, please do not hesitate to contact me.

Greg

On Thu, May 17, 2018 at 5:55 PM, Mullin, Kelly <[KMullin@washoecounty.us](mailto:KMullin@washoecounty.us)> wrote:

Hello,

I've begun reviewing your submitted application for completeness and have identified a number of items missing from the application:

1. Traffic rates for the wine/coffee bar; traffic rates for the medical office; and combined rates for the entire site (all 3 uses). If the individual and/or combined uses are stated to be under the threshold requiring a traffic impact report (80 peak hour trips), please provide a letter by a traffic engineer attesting to that.
2. Hours of operation for the sports retail and wine/coffee bar uses
3. Updated site plan showing distances from structure to property lines
4. Updated site plan identifying proposed outdoor patio area described in application, including all dimensions, height, setbacks, and square footage compared to existing structure. Also identify if patio is attached or detached from existing structure.
5. Official document showing that Tom Burkhart is authorized to sign on behalf of the property owner Burkhart Management Group LLC

Additional information may be requested later; however, these are initial items critical to the case description and overall understanding of the project. This application is currently considered incomplete until items #1-4 have been provided (if necessary, #5 can be provided once Mr. Burkhart is back in the country, as long as it is prior to the hearing).

**If you are able to provide items #1-4 by 5 p.m. Friday, 5/18, we can continue to process the application as part of this cycle. Otherwise, it's likely we'll need to hold the application until the next cycle to ensure stakeholder agencies have sufficient time to review the application once it's complete.**

If you have questions, please let me know.

Regards,

**Kelly Mullin, AICP**

Senior Planner | Washoe County Community Services Department | Planning & Building Division

[kmullin@washoecounty.us](mailto:kmullin@washoecounty.us) | 775.328.3608 (o) | 775.328.6133 (f) | [1001 E. Ninth St., Bldg. A, Reno, NV 89512](https://www.washoecounty.us/1001-E-Ninth-St.-Bldg.-A-Reno-NV-89512)



Connect with us: [cMail](mailto:kmullin@washoecounty.us) | [Twitter](#) | [Facebook](#) | [www.washoecounty.us](http://www.washoecounty.us)

--

**Greg Erny FAIA, NCARB**  
**architects + LLC**

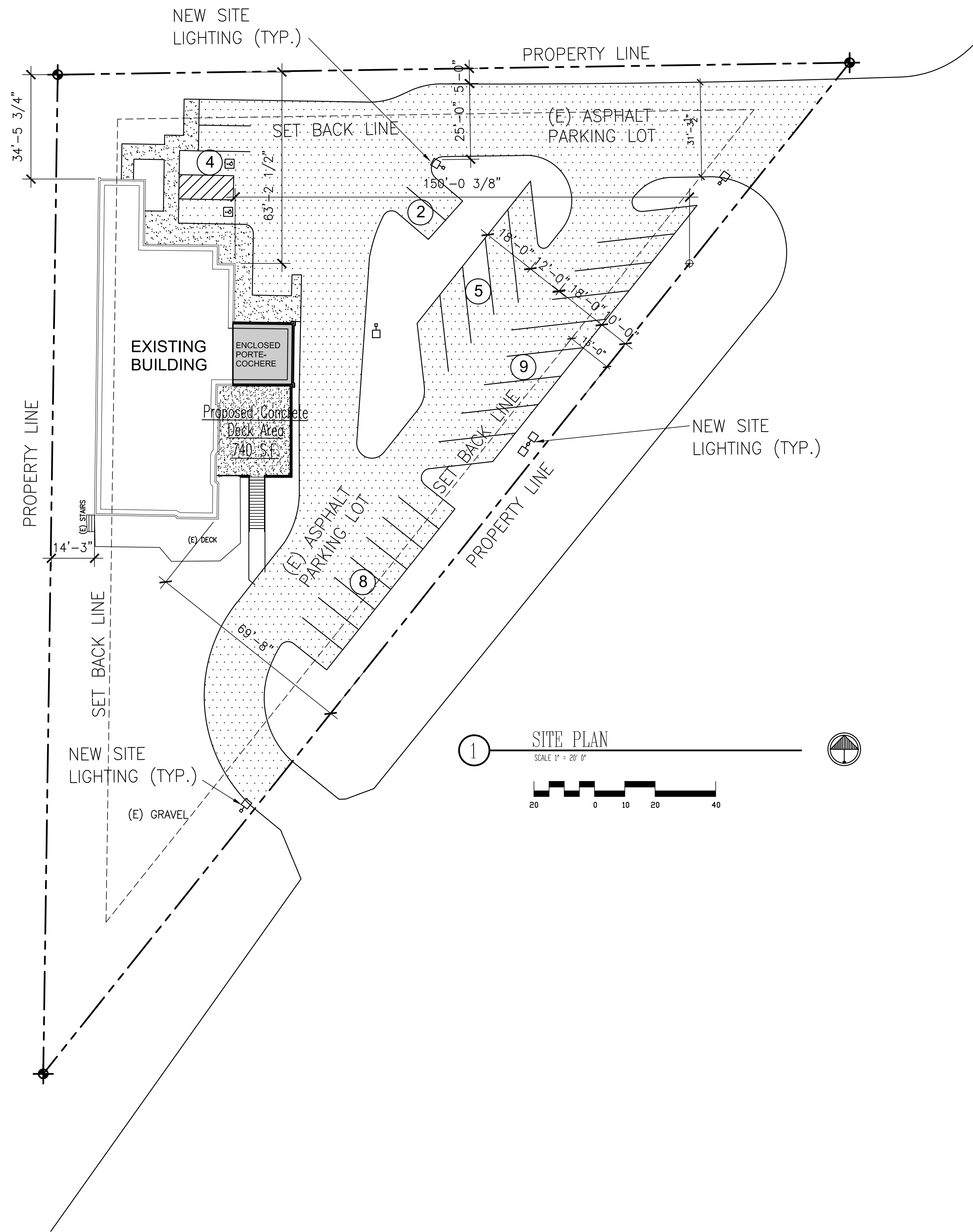
35 Martin St.

Reno, Nevada 89509

775-329-8001

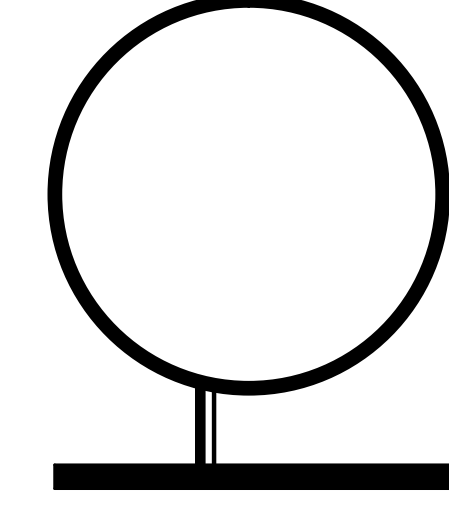
775-722-8001 (cell)

[ernygregory@gmail.com](mailto:ernygregory@gmail.com)



revisions

**architects + LLC**  
 environmental  
 designers  
 35 Martin St.  
 Reno, NV 89509  
 775-329-8001  
 FAX 775-329-8292



Project  
**The Lodge at Galena Remodel**  
 17025 Mt. Rose Hwy  
 Reno, Nevada 89511

sheet title  
 SITE PLAN

drawn by  
 GE

checked by  
 GE

date  
 05/01/17

job no.  
 Building Remodel  
 The Lodge at Galena

sheet

A-1.0

**SITE & UTILITY LEGEND**

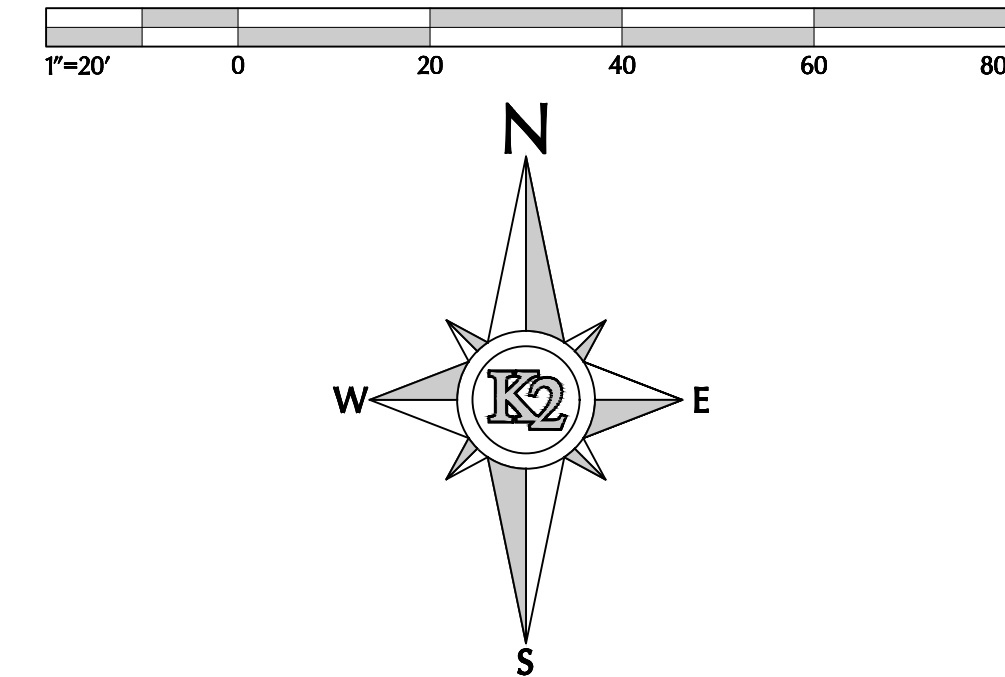
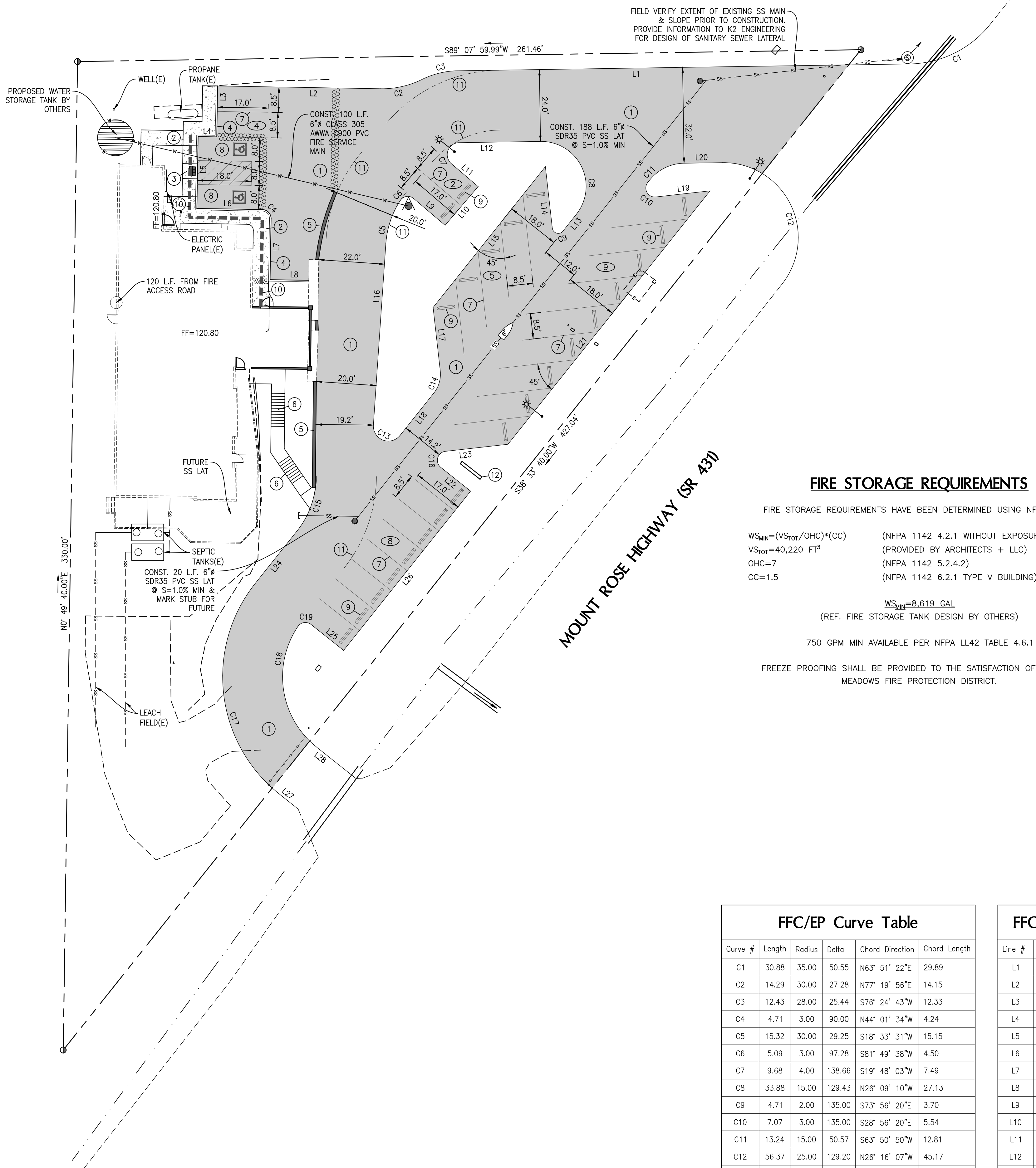
- A.C. PAVEMENT AREA
- CONCRETE AREA
- UTILITY PROPOSED UTILITY LINE W. DESCRIPTION
- UTILITY EXISTING UTILITY LINE W. DESCRIPTION
- FIRE HYDRANT ASSEMBLY (EXISTING/PROPOSED)
- FLUSH VALVE ASSEMBLY (EXISTING/PROPOSED)
- DUAL/SINGLE WATER SERVICE (EXISTING/PROPOSED)
- AIR RELEASE VALVE ASSEMBLY (EXISTING/PROPOSED)
- WATER MAIN TEE W. GATE VALVES & THRUST BLOCK
- BACKFLOW PREVENTION ASSEMBLY
- ELBOW W. THRUST BLOCK
- MANHOLE W. DESCRIPTION (EXISTING/PROPOSED)
- CLEANOUT (EXISTING/PROPOSED)
- SANITARY SEWER LATERAL
- CATCH BASIN/DROP INLET
- YARD DRAIN
- ACCESSIBLE PARKING SPACE W. SIGN & PAVEMENT MARKINGS
- PEDESTRIAN ACCESS RAMP
- ACCESSIBLE ROUTE
- PARKING SPACE COUNT
- KEYNOTE (REF. CORRESPONDING LEGEND)

**SITE NOTES**

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY K2 ENGINEERING & STRUCTURAL DESIGN OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
2. THE FIELD SURVEY PREPARED BY HARLAN KING & ASSOCIATES IS THE BASIS OF THIS DESIGN.
3. AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE NDOT RIGHT-OF-WAY.
4. ALL WORK WITHIN THE NDOT RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CODES, STANDARD SPECIFICATIONS & DETAILS.
5. PLACEMENT OF THE STRUCTURE WITHIN THE REQUIRED SETBACKS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
7. ALL DIMENSIONS ARE TO FRONT FACE OF CURB, FACE OF BUILDING, FACE OF WALL, CENTER OF PIPE, CENTER OF MANHOLE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. ALL PERMANENT STRIPING, SIGNAGE & TRAFFIC CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) REQUIREMENTS.
9. ALL SAWCUT LINES SHALL BE NEATLY DONE, PARALLEL OR PERPENDICULAR TO EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL MODIFY THE SAWCUT LINE AS REQUIRED TO INCORPORATE AREAS OF DAMAGED CURB, GUTTER, SIDEWALK & PAVEMENT.
10. REPLACE ALL DETERIORATED, DAMAGED AND/OR DISPLACED, CURB, GUTTER AND SIDEWALK AND APPROACHES PRIOR TO ANY CERTIFICATE OF OCCUPANCY. ANY EXISTING IMPROVEMENTS THAT ARE REPLACED SHALL MATCH THE EXISTING GRADE AND ALIGNMENT UNLESS OTHERWISE NOTED. THE REMOVAL OF EXISTING IMPROVEMENTS SHALL EXTEND TO THE NEAREST JOINT.
11. REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.

**UTILITY NOTES**

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY K2 ENGINEERING & STRUCTURAL DESIGN OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
2. UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL NOTIFY K2 ENGINEERING & STRUCTURAL DESIGN BEFORE PROCEEDING WITH CONSTRUCTION.
3. MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER MAINS AND SERVICES.
4. MAINTAIN 3.0' MINIMUM HORIZONTAL CLEARANCE AROUND ALL FIRE HYDRANTS.
5. K2 ENGINEERING & STRUCTURAL DESIGN IS NOT RESPONSIBLE FOR WATER ANALYSIS INCLUDING PIPE SIZING, PUMPING, AND WATER PRESSURES.
6. K2 ENGINEERING & STRUCTURAL DESIGN IS NOT RESPONSIBLE FOR FIRE SERVICE LINE SIZING OR INTERNAL FIRE SUPPRESSION SYSTEM DESIGN. REFERENCE FIRE SPRINKLER DESIGN BY OTHERS.
7. REF. NV ENERGY PLANS, SITE ELECTRICAL PLAN & SITE PLUMBING PLAN FOR ALL GAS AND ELECTRIC IMPROVEMENTS. IMPROVEMENTS SHOWN ARE SCHEMATIC ONLY.
8. NO LOCATION FOR TELEPHONE, CABLE TV OR ANY OTHER LOW VOLTAGE IMPROVEMENT IS SHOWN. THE CONTRACTOR SHALL COORDINATE THE DESIGN & CONSTRUCTION OF THESE UTILITIES DIRECTLY WITH THE SERVICE PROVIDER.
9. REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
10. ADD 5800' TO ALL SPOT ELEVATIONS.



- SITE PLAN KEYNOTE LEGEND**
1. AC PAVEMENT SECTION
  2. P.C.C. SIDEWALK
  3. PEDESTRIAN ACCESS RAMP
  4. TYPE 1 P.C.C. MEDIAN CURB
  5. SITE/LANDSCAPE RETAINING WALL W. SAFETY RAILING (REFERENCE ARCHITECTURAL PLANS FOR RAILING DETAILS)
  6. FIELD FIT STAIRS W. HANDRAIL (REFERENCE ARCHITECTURAL PLANS FOR RAILING DETAILS)
  7. PARKING SPACE STRIPING (TYPICAL)
  8. DISABLED PARKING SPACE
  9. PRECAST CONCRETE WHEELSTOP (TYPICAL)
  10. ACCESSIBLE ROUTE
  11. FIRE TURNING RADIUS (R=30' INSIDE, R=50' OUTSIDE)
  12. RELOCATED MONUMENT SIGN (BY SEPARATE PERMIT)

**FIRE STORAGE REQUIREMENTS**

FIRE STORAGE REQUIREMENTS HAVE BEEN DETERMINED USING NFPA 1142.

$WS_{min} = (V_{stor}/OHC) * (CC)$  (NFPA 1142 4.2.1 WITHOUT EXPOSURE HAZARD)  
 $V_{stor} = 40,220 \text{ FT}^3$  (PROVIDED BY ARCHITECTS + LLC)  
 $OHC = 7$  (NFPA 1142 5.2.4.2)  
 $CC = 1.5$  (NFPA 1142 6.2.1 TYPE V BUILDING)

$WS_{min} = 8,619 \text{ GAL}$   
 (REF. FIRE STORAGE TANK DESIGN BY OTHERS)

750 GPM MIN AVAILABLE PER NFPA LL42 TABLE 4.6.1

FREEZE PROOFING SHALL BE PROVIDED TO THE SATISFACTION OF TRUCKEE MEADOWS FIRE PROTECTION DISTRICT.

**PARKING ANALYSIS**

USE	AREA (FT <sup>2</sup> )	CRITERIA	REQUIRED SPACES
PROFESSIONAL OFFICES	3,030	4/7000 + 1/EMPLOYEE	12.1+EMP.
MEDICAL SERVICES	1,200	5/7000 + 1/EMPLOYEE	6.0+EMP.
TOTAL REQUIREMENT		SPACES PROVIDED	ADA SPACES VAN ACCESSIBLE
18 + EMPLOYEES	28	2	1

**NOTES:**  
 1. ALL BUILDING INFORMATION PROVIDED BY ARCHITECTS + LLC.  
 2. REQUIREMENTS DETERMINED USING WASHOE COUNTY DEVELOPMENT CODE CHAPTER 410.

**SITE ANALYSIS**

APN:	047-161-13
AREA	43,112 S.F.
ZONING	NC
SETBACKS (F/R/S)	15/20/15 (FT)
BUILDING FOOTPRINT	4,592 S.F. 10.7%
PAVED/IMPERVIOUS	18,328 S.F. 42.5%
LANDSCAPED	20,192 S.F. 46.8%

**FFC/EP Curve Table**

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	30.88	35.00	50.55	N63° 51' 22"E	29.89
C2	14.29	30.00	27.28	N77° 19' 56"E	14.15
C3	12.43	28.00	25.44	S76° 24' 43"W	12.33
C4	4.71	3.00	90.00	N44° 01' 34"W	4.24
C5	15.32	30.00	29.25	S18° 33' 31"W	15.15
C6	5.09	3.00	97.28	S81° 49' 38"W	4.50
C7	9.68	4.00	138.66	S19° 48' 03"W	7.49
C8	33.88	15.00	129.43	N26° 09' 10"W	27.13
C9	4.71	2.00	135.00	S73° 56' 20"E	3.70
C10	7.07	3.00	135.00	S28° 56' 20"E	5.54
C11	13.24	15.00	50.57	S63° 50' 50"W	12.81
C12	56.37	25.00	129.20	N26° 16' 07"W	45.17
C13	12.69	5.00	145.37	S68° 45' 14"E	9.55
C14	7.85	10.00	45.00	N16° 03' 40"E	7.65
C15	15.93	28.43	32.11	N22° 55' 48"E	15.72
C16	7.07	3.00	135.00	S16° 03' 40"W	5.54
C17	78.53	50.00	89.99	S6° 26' 08"E	70.71
C18	44.73	30.00	85.44	S8° 42' 48"E	40.70
C19	4.95	3.00	94.56	S81° 16' 59"W	4.41

**FFC/EP Line Table**

Line #	Length	Direction
L1	150.76	S89° 07' 59.99"W
L2	54.41	S89° 01' 33.83"E
L3	17.00	S0° 58' 26.17"W
L4	6.22	S89° 01' 33.83"E
L5	24.00	S0° 58' 26.17"W
L6	21.82	S89° 01' 33.83"E
L7	20.35	N0° 58' 26.17"E
L8	12.93	S89° 01' 03.40"E
L9	13.78	S49° 31' 53.34"E
L10	17.00	S40° 28' 06.66"W
L11	11.73	S49° 31' 53.34"E
L12	27.20	S89° 07' 59.99"W
L13	7.16	S38° 33' 40.00"W
L14	20.63	S6° 26' 20.00"E

**FFC/EP Line Table**

Line #	Length	Direction
L15	60.10	S38° 33' 40.00"W
L16	60.77	N3° 55' 52.31"E
L17	21.31	S6° 26' 20.00"E
L18	18.14	S38° 33' 40.00"W
L19	18.21	S83° 33' 40.00"W
L20	12.73	S89° 07' 59.99"W
L21	108.19	S38° 33' 40.00"W
L22	12.76	N51° 26' 20.00"W
L23	21.04	S83° 33' 40.00"W
L24	22.31	S38° 33' 40.77"W
L25	13.91	N51° 26' 20.00"W
L26	68.00	S38° 33' 40.00"W
L27	8.16	N51° 25' 55.39"W
L28	16.82	N51° 25' 55.39"W

**NDOT RIGHT-OF-WAY**

ALL WORK WITHIN THE NDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE APPROVED NDOT ENCROACHMENT PERMIT AND NO WORK WITHIN THE NDOT RIGHT-OF-WAY SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING IS OBTAINED.

**K2 ENGINEERING AND STRUCTURAL DESIGN**  
 860 Maestro Dr., Ste. A  
 Reno, NV 89511  
 P: (775) 355-0505  
 F: (775) 355-0566  
 www.K2eng.net

**Tenant Improvement**  
 Washoe County, NV  
 17025 Mount Rose Highway  
 APN: 047-161-13

Brandt T. Kennedy, P.E.  
 Jared A. Krupa, P.E.

**Revisions**

Rev	Description

Date: 7/7/17  
 Drawn: K2  
 Checked: BTK  
 Project No.: 16-376

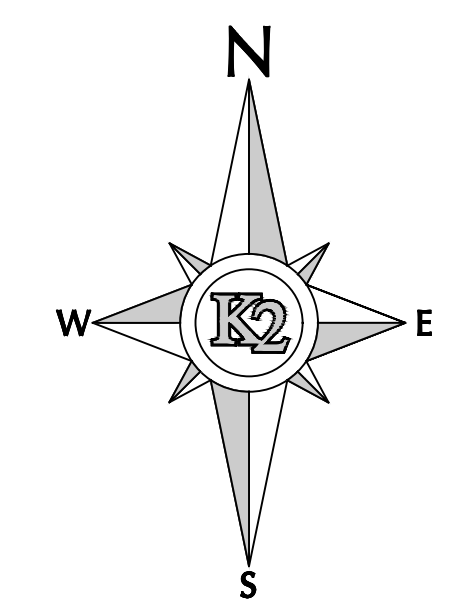
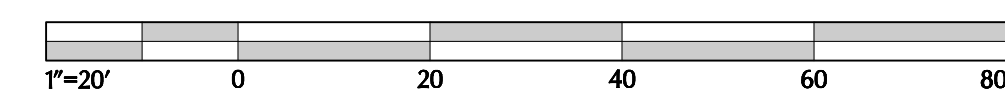
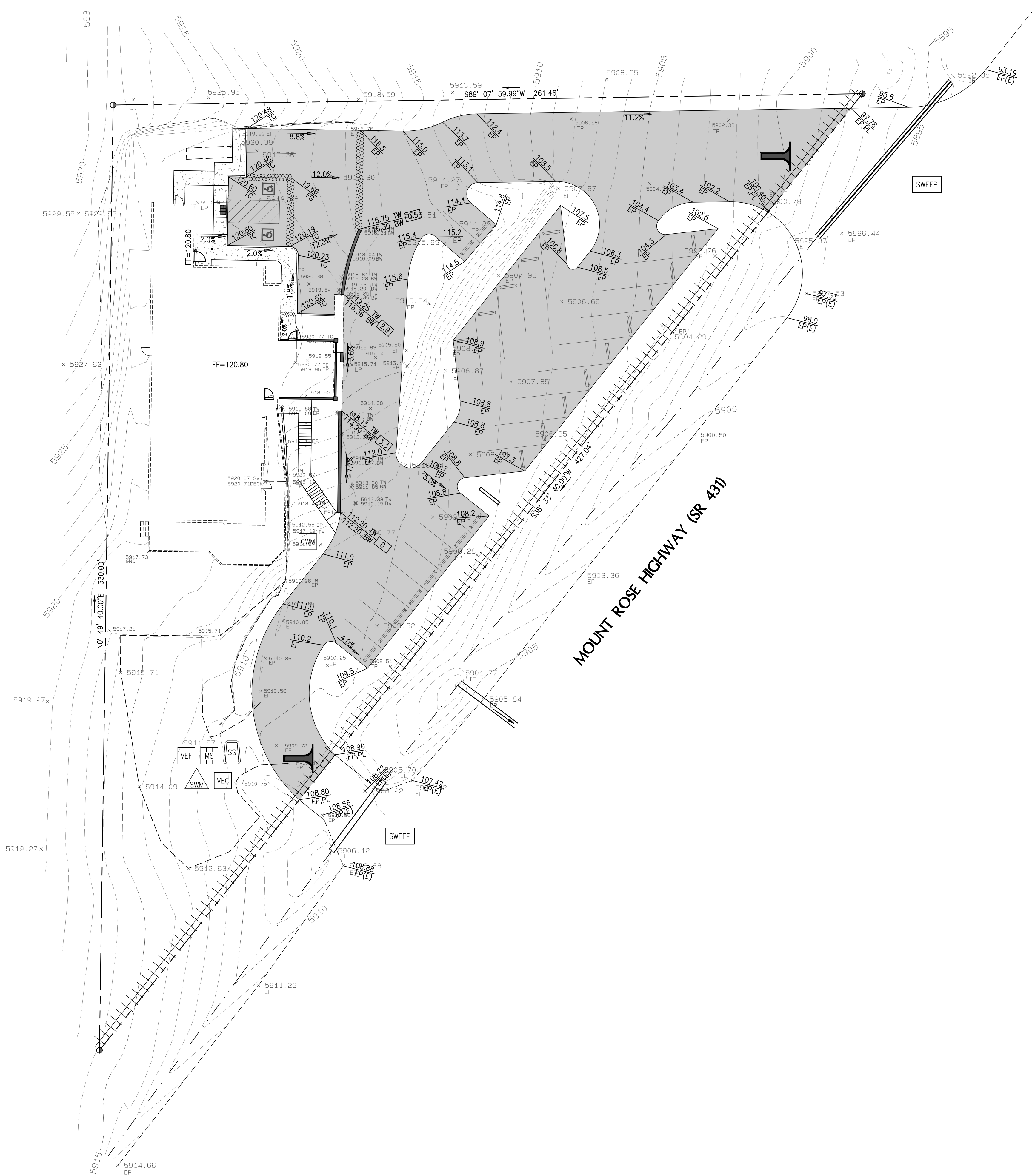
Site & Utility Plan  
**C-2**  
 WADMIN18 0009  
 EXHIBIT E





**GRADING/DRAINAGE LEGEND**

	A.C. PAVEMENT AREA
	CONCRETE AREA
	PROPOSED UTILITY LINE W. DESCRIPTION
	EXISTING UTILITY LINE W. DESCRIPTION
	MANHOLE W. DESCRIPTION (EXISTING/PROPOSED)
	CLEANOUT (EXISTING/PROPOSED)
	CATCH BASIN/DROP INLET
	YARD DRAIN
	GRADE BREAK
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	INLET PROTECTION
	FIBER ROLL (SC-1)
	SILT FENCE (SC-5)
	CONSTRUCTION ENTRANCE (SC-8)
	REVEGETATION (EC-8)
	RIPRAP (EC-7)
	SOLID WASTE MANAGEMENT (GM-3)
	STREET SURFACE CLEANING (GM-5)
	VEHICLE & EQUIPMENT CLEANING (GM-7)
	VEHICLE & EQUIPMENT FUELING (GM-8)
	CONCRETE WASHOUT (GM-9)
	MATERIAL DELIVERY & STORAGE (GM-10)
	SANITARY WASTE MANAGEMENT (GM-14)
	FLOW DIRECTION ARROW
	SPOT ELEVATION (EXISTING/PROPOSED)



**GRADING NOTES**

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY K2 ENGINEERING & STRUCTURAL DESIGN OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
2. THE FIELD SURVEY PREPARED BY HARLAN KING & ASSOCIATES IS THE BASIS OF THIS DESIGN.
3. THE ACCESSIBILITY ROUTE SHALL NOT HAVE A RUNNING SLOPE EXCEEDING 5% OR A CROSS SLOPE EXCEEDING 2%. REFERENCE SITE PLAN FOR LOCATION.
4. THIS SITE LIES IN FEMA FLOOD ZONE X (32031C33266). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
5. UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
6. REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
7. ADD 5800' TO ALL ELEVATIONS.

**EARTHWORK NOTES**

1. PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL OBTAIN & REVIEW A SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS.
2. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE HIS OWN INTERPRETATIONS WITH REGARD TO MATERIALS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT.
4. THE DEVELOPER IS RESPONSIBLE FOR RETAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY WASHOE COUNTY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INDEPENDENT ENTITY TWO (2) WORKING DAYS ADVANCE NOTICE OF ANY REQUIRED TESTING AND INSPECTION. THE CONTRACTOR WILL PREPARE AN INDEPENDENT ESTIMATE OF EARTHWORK QUANTITIES. ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR MATERIAL EXPANSION OR SHRINKAGE.
5. UNSUITABLE SOIL OR MATERIALS, NOT TO BE INCLUDED IN THE WORK INCLUDE: ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOIL, SOILS CONTAINING EXPANSIVE CLAYS, MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE IN EXCESS OF 6 INCHES, MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
6. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN.

**DRAINAGE & EROSION CONTROL NOTES**

1. THIS SITE LIES IN FEMA FLOOD ZONE X (32031C33266). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
2. THE CONTRACTOR SHALL REFER TO STATE OF NEVADA CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK FOR ALL BEST MANAGEMENT PRACTICES (BMP'S) TO BE UTILIZED DURING CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. THE EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS.
5. PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
6. STABILIZE THE CONSTRUCTION ENTRANCE.
7. REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
8. ADD 5800' TO ALL ELEVATIONS.

**K2 ENGINEERING**  
AND STRUCTURAL DESIGN  
860 Maestro Dr., Ste. A  
Reno, NV 89511  
P: (775) 355-0505  
F: (775) 355-0566  
www.K2eng.net

**Tenant Improvement**  
1702.5 Mount Rose Highway  
Washoe County, NV  
APN: 047-161-13

Brandt T. Kennedy, P.E.  
Jared A. Krupa, P.E.

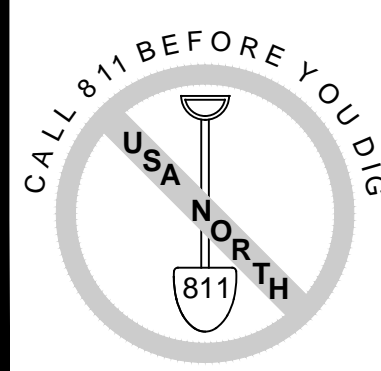
**Revisions**

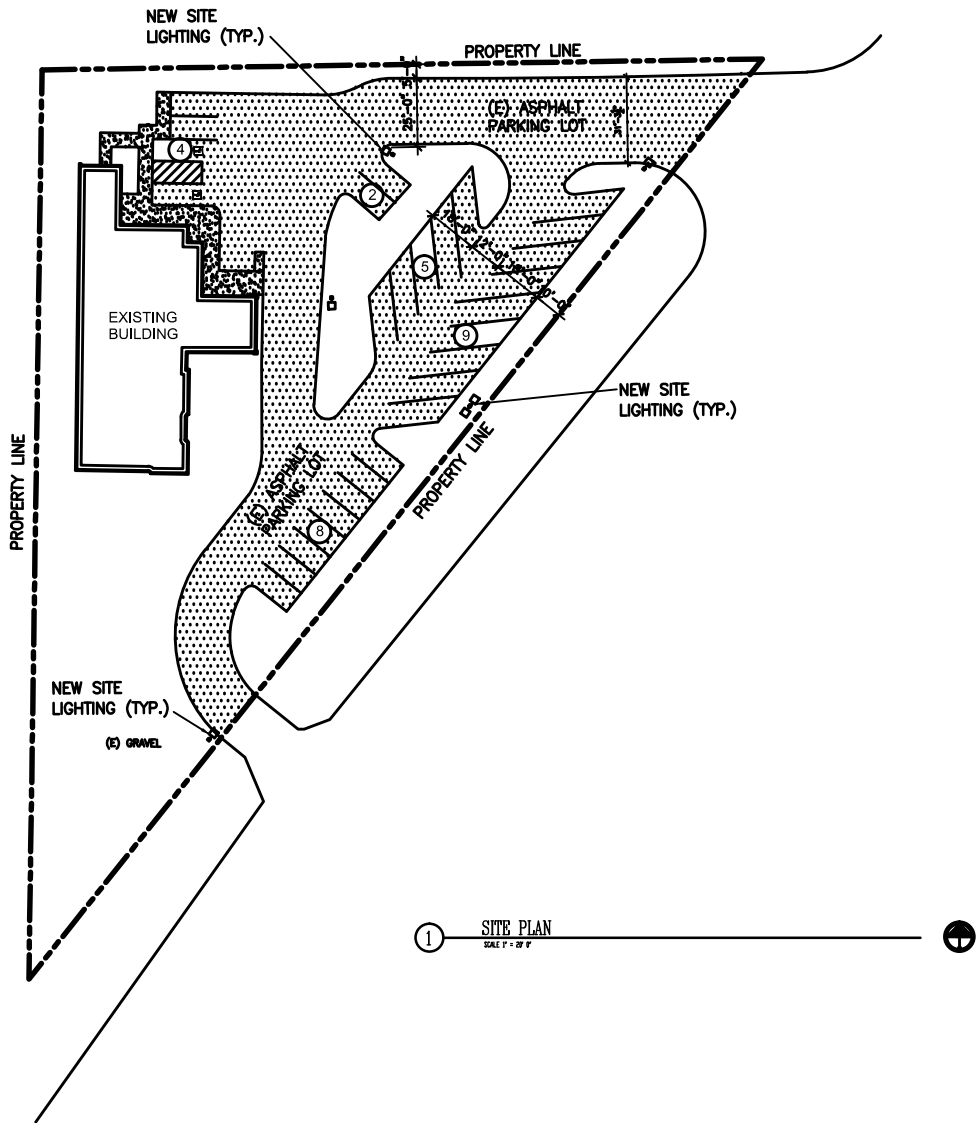

Date: 7/7/17  
Drawn: K2  
Checked: BTK  
Project No.: 16-376

**Grading  
Drainage &  
E.C. Plan**

**C-3**  
WADMIN18 0009  
EXHIBIT E

**NDOT RIGHT-OF-WAY**  
ALL WORK WITHIN THE NDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE APPROVED NDOT ENCROACHMENT PERMIT AND NO WORK WITHIN THE NDOT RIGHT-OF-WAY SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING IS OBTAINED.

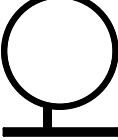




① SITE PLAN  
SCALE 1" = 20' 0"

revision

architects + llc  
environmental  
engineers  
22 South St.  
Beaumont, TX 77705  
TEL 713-263-6222



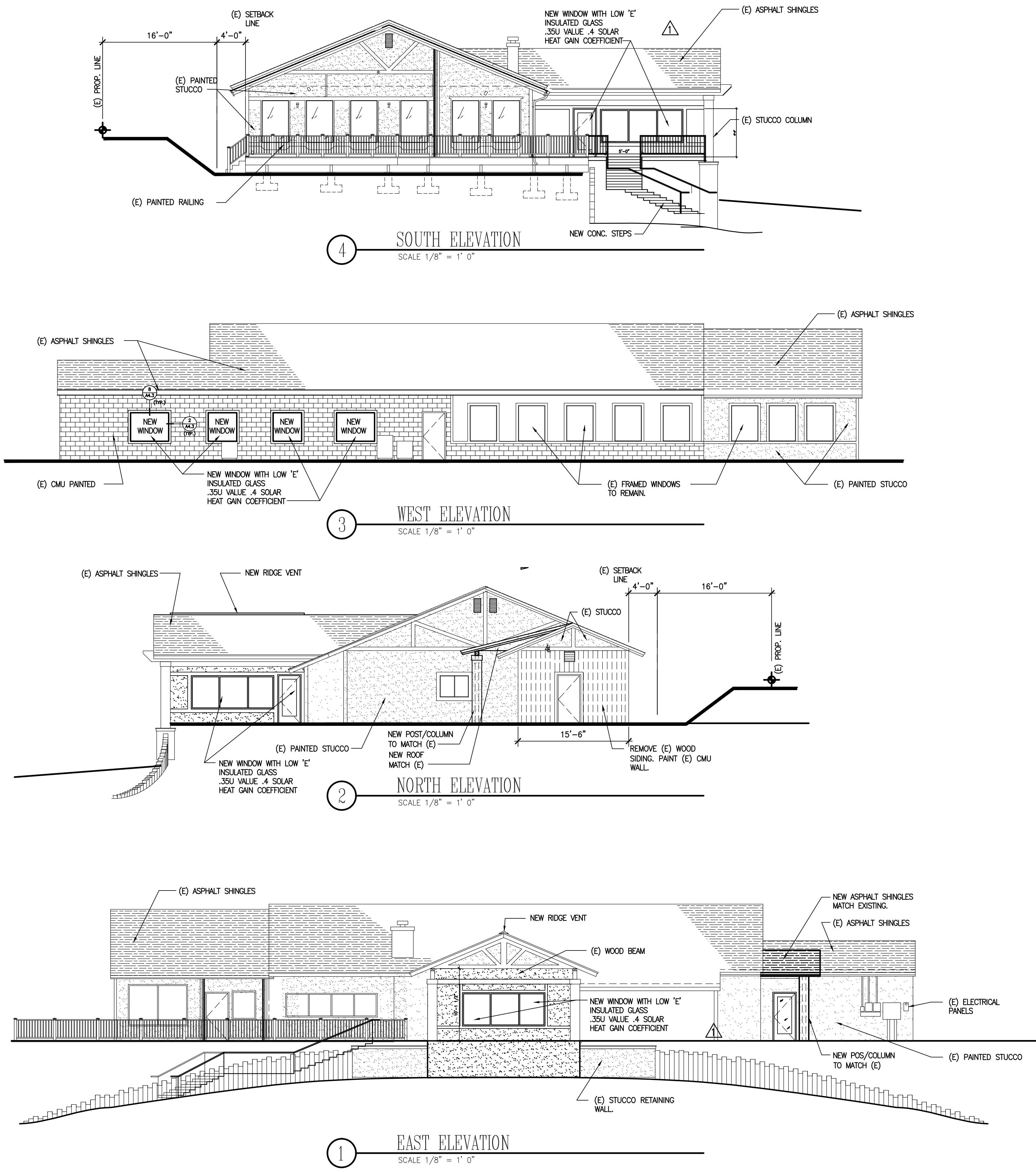
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**The Lodge at Galena Remodel**  
17025 Mt. Zion Hwy  
Beaumont, Nevada 89511

sheet no.  
SITE PLAN

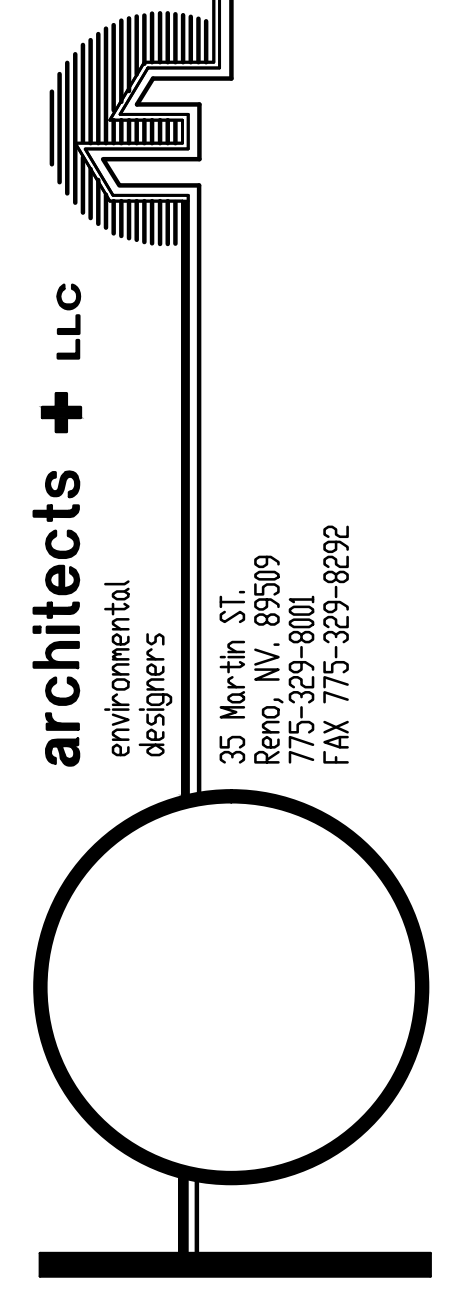
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revisions



**architects + llc**  
environmental  
designers  
33 Martin St.  
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project  
**The Lodge at Galena Remodel**  
17025 Mt. Rose Hwy  
Reno, Nevada 89511

sheet title  
**EXTERIOR ELEVATIONS**

drawn by  
GE

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GE

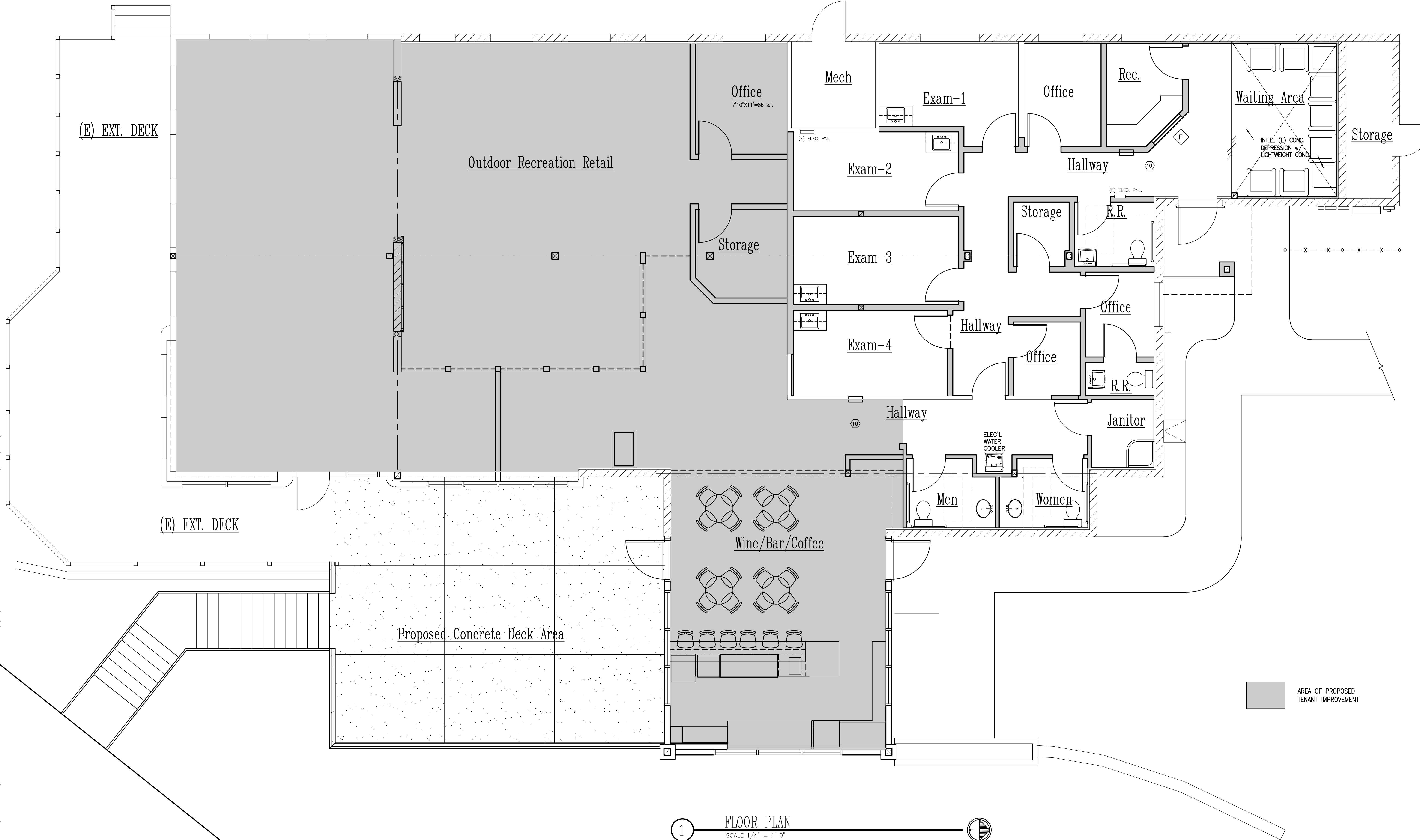
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07/07/2017

job no.  
Building Remodel  
The Lodge at Galena

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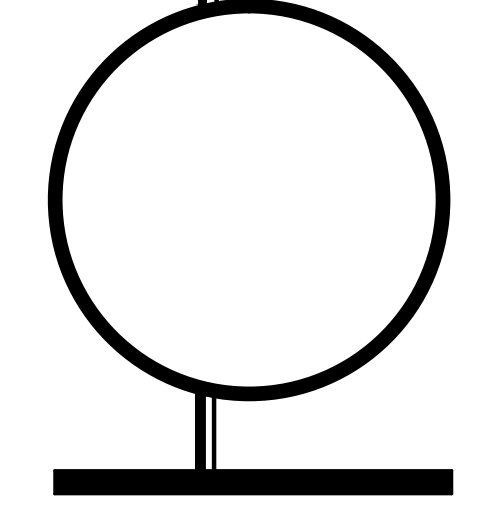


1 FLOOR PLAN  
SCALE 1/4" = 1' 0"

Overall Square Footage= 4,469

revisions

**architects + LLC**  
 environmental  
 designers  
 35 North St.  
 Reno, NV, 89509  
 775-329-8001  
 FAX 775-329-8292



Project  
**The Lodge at Galena Remodel**  
 17025 Mt. Rose Hwy  
 Reno, Nevada 89511

sheet title  
 EXISTING  
 FLOOR PLAN

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 IE  
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 05/11/18  
 job no.  
 Building Renovation  
 The Lodge at Galena  
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# LANDSCAPE SPECIFICATIONS

## GENERAL

1. PLAN IS DIAGRAMMATIC ONLY. ALL LOCAL GOVERNING CODES SHALL BE MET. EXACT LOCATION OF TREES AND SHRUBS SHALL BE DETERMINED IN THE FIELD (INSTALL AS PER DETAILS) AND APPROVED BY THE OWNER'S REPRESENTATIVE.
2. A MINIMUM OF TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRIC CABLES, TELEPHONE CABLES, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES, AND REPAIR OF ANY DAMAGE RESULTING FROM HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
3. DAMAGES: CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER.
4. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (I.E., PAVING, PLUMBING, ELECTRICAL, ETC.)
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION AND TO NOTIFY THE OWNER'S REPRESENTATIVE SHOULD CONDITIONS EXIST WHICH PREVENT CONSTRUCTION AS PER THESE PLANS. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS AND RESPONSIBILITY FOR CORRECTIONS.
6. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT.

## PLANTINGS

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING THROUGHOUT ALL LANDSCAPE AREAS SUCH THAT THERE ARE NO HUMPS OR DEPRESSIONS AND POSITIVE DRAINAGE OCCURS THROUGHOUT. THE TOP 18" OF ALL PLANTING BEDS SHALL BE CLEAN NATIVE SOIL, FREE OF ALL CONSTRUCTION DEBRIS AND NATIVE ROCKS OVER 1" IN DIAMETER. THE CONTRACTOR SHALL AMEND THE PLANTING BED OR PLANTING HOLES PER PLANS AND SPECIFICATIONS. FINAL GRADE OF ALL PLANTERS (I.E. MULCH SURFACE) SHALL BE FLUSH WITH ADJACENT HARDSCAPE SURFACES.
8. SOIL TEST: CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS FOR EXISTING SITE SOIL AS FOLLOWS:
  - ANALYSIS PACKAGE LTF# 4 BY SUNLAND ANALYTICAL (616)852-8957 (OAE)
  - TEST RESULTS SHALL INCLUDE SOIL SATURATION PERCENT, SOIL TEXTURE, INFILTRATION RATE, pH, CONDUCTIVITY, TOTAL DISSOLVED SOLTS, CATION EXCHANGE CAPACITY, POTASSIUM, SODIUM, CALCIUM, MAGNESIUM, NITRATE & PHOSPHORUS, SULFUR, CHLORIDE, BORON, COPPER, IRON, MANGANESE, ZINC & LIME REQUIREMENT, SODIUM ADSORPTION RATIO, EXCHANGEABLE SODIUM PERCENT & ORGANIC MATTER, ALONG WITH RECOMMENDATIONS FOR SOIL AMENDMENT BASED ON ANALYSIS RESULTS.
  - CONTRACTOR SHALL FOLLOW RECOMMENDATIONS OF SOIL TEST.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TOTAL AND CONFIRM ALL MATERIAL QUANTITIES. ITEMS QUANTIFIED BY AN AREA (I.E., SQUARE FEET - SF, SQUARE YARD - SY) OR VOLUME (CUBIC FEET - CU FT, CUBIC YARD - CU YD) SHALL BE CALCULATED AND CONFIRMED BY THE CONTRACTOR. THE QUANTITIES LISTED ON THE PLANT LIST ARE ESTIMATED. IN THE EVENT OF A DISCREPANCY BETWEEN THE TOTALS LISTED ON THE PLANT LIST AND THE QUANTITY OF GRAPHIC PLANT SYMBOLS DEPICTED ON THE DRAWINGS, THE GRAPHIC SYMBOLS ON THE PLANS SHALL GOVERN. THE ACTUAL TOTAL QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR.

10. SOIL AMENDMENT, UNLESS OTHERWISE INDICATED BY THE SOIL TEST, SOIL AMENDMENT SHALL BE HUMUS COMPOSED OF TOPSOIL, BARK HUMUS, AND COMPOST. SUBMIT TO OWNER'S REPRESENTATIVE FOR APPROVAL.
11. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIAL PER SYMBOLS AND SPACING INDICATED ON PLAN. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT EXPRESSED WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE. SEE SUBMITTALS.
12. ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF THE ANSI Z601 "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN SHALL BE REJECTED. CONTRACTOR SHALL RECEIVE ON-SITE APPROVAL OF PLANT MATERIAL BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO RECEIVE PRIOR APPROVAL MAY RESULT IN REJECTION. FOLLOWING ARE THE MATERIALS THAT THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND EVALUATE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD.
  - DECOMPOSED GRANITE (D6) - INSTALL 4" MIN. DEPTH OF 3/8" COURSE OXBORROW D6 (OAE) - DO NOT INSTALL WEEP FABRIC UNDER MULCH.
  - BLENDED RIVER ROCK - INSTALL 4" MIN. DEPTH OF BLENDED RIVER ROCK (40% 4" MINUS & 60% 1 1/2" MINUS) INSTALLED OVER LANDSCAPE FABRIC.
  - 4" MINUS RIVER ROCK - INSTALL 4" MIN. DEPTH OF 4" MINUS RIVER ROCK OVER LANDSCAPE FABRIC.
  - BARK MULCH - INSTALL WALK-ON BARK MULCH (OAE) IN TREE AND SHRUB WATERING WELLS LOCATED WITHIN ROCK MULCH AREAS - DO NOT INSTALL LANDSCAPE FABRIC UNDER BARK.
  - LANDSCAPE FABRIC - DEWITT PRO-5 WEEP BARRIER (OAE) INSTALL IN ACCORDANCE WITH MF'S SPECIFICATIONS.
  - GRANULAR PRE-EMERGENT HERBICIDE - APPLY RONSTAR TURF & ORNAMENTAL HERBICIDE (OAE) TO ALL PLANTING BEDS PER MF'S SPECIFICATIONS.

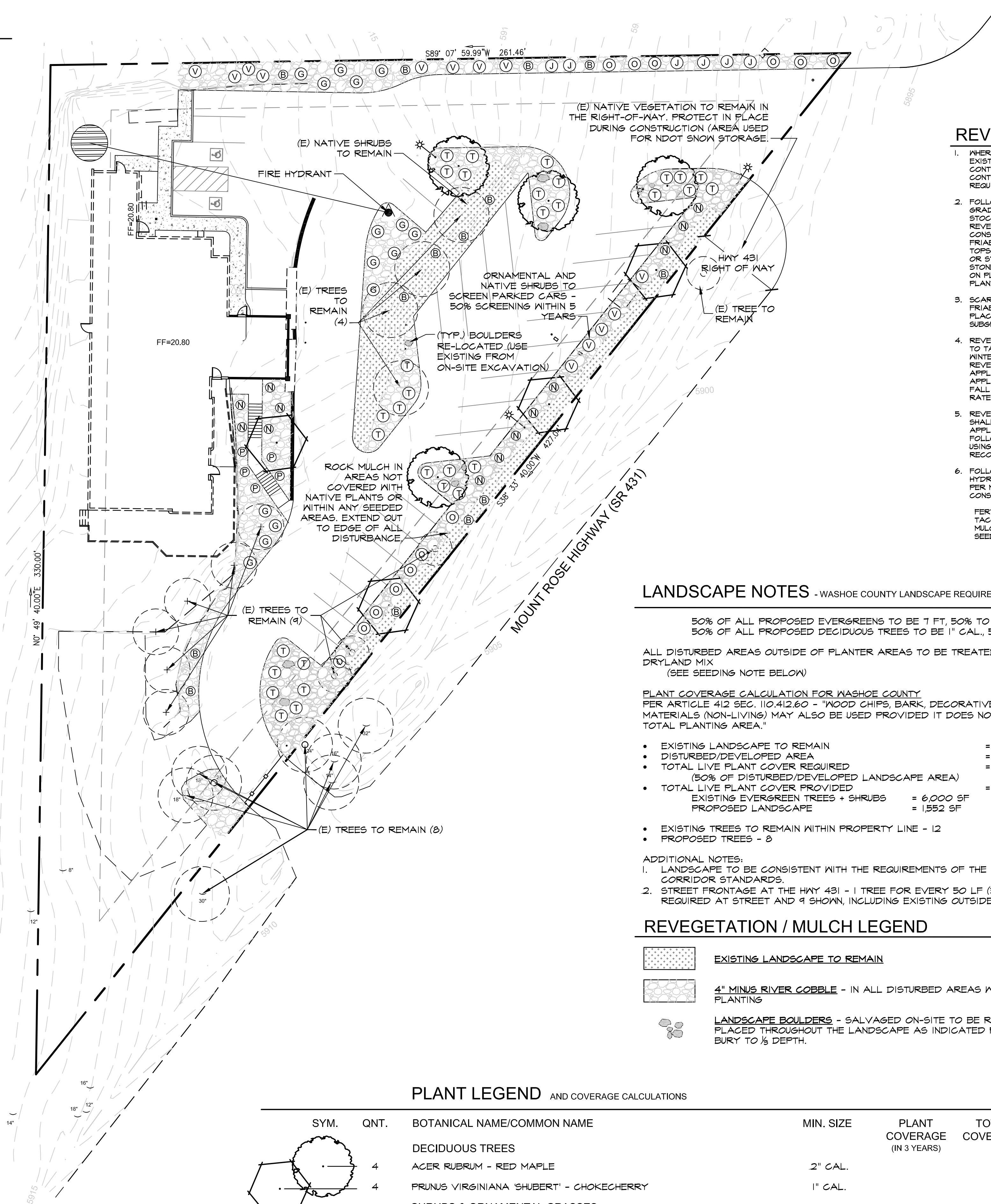
NOTE: ALL MULCH SAMPLES TO BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL MIN. 48 HOURS PRIOR TO START OF ANY LANDSCAPE OR IRRIGATION WORK. IF UNACCEPTABLE MULCH IS INSTALLED WITHOUT APPROVAL IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT THE ISSUES AT HIS EXPENSE.

## OBSERVATIONS/APPROVALS/SUBMITTALS

14. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE, A MINIMUM OF 48 HOURS IN ADVANCE, FOR THE FOLLOWING SITE OBSERVATIONS AND/OR MEETINGS:
  - A. PRE-CONSTRUCTION MEETINGS WITH ALL PARTIES
  - B. PLANT MATERIAL ON-SITE PRIOR TO INSTALLATION
  - C. FINAL PROJECT WALK-THROUGH
  - D. ADDITIONAL SITE OBSERVATIONS AS DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE AND/OR CONTRACTOR.
15. SUBMIT AMENDMENT AND MULCH SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. FAILURE TO COMPLY MAY RESULT IN REJECTION OF MULCH OR AMENDMENT PRIOR TO OR FOLLOWING INSTALLATION.
16. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROVIDE PLANT MATERIAL AS SPECIFIED ON THIS PLAN. THE CONTRACTOR MAY SUBMIT A REQUEST TO PROVIDE SUBSTITUTIONS FOR THE SPECIFIED PLANT MATERIAL UNDER THE FOLLOWING CONDITIONS:
  - A. ANY SUBSTITUTIONS PROPOSED SHALL BE SUBMITTED TO THE PROJECT OWNER'S REPRESENTATIVE WITHIN TWO WEEKS OF THE AWARD OF CONTRACT. SUBSTITUTIONS MUST MEET EQUIVALENT DESIGN AND FUNCTIONAL GOALS OF THE ORIGINAL MATERIALS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. ANY CHANGES MUST HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
  - B. THE REQUEST WILL BE ACCOMPANIED BY AT LEAST THREE NOTICES FROM PLANT MATERIAL SUPPLIERS THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE AND WILL NOT BE AVAILABLE PRIOR TO CONSTRUCTION.
  - 17. SUBMIT REQUIRED SOIL REPORT, AND SAMPLE OF PROPOSED SOIL AMENDMENTS TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
18. RECORD (AS-BUILT) DRAWINGS: FOLLOWING COMPLETION OF PROJECT INSTALLATION AND PRIOR TO FINAL APPROVAL, CONTRACTOR SHALL PREPARE AND SUBMIT RECORD DRAWINGS DEPICTING A COMPLETE LANDSCAPE AND IRRIGATION INSTALLATION. PROCURE FROM OWNER DIGITAL COPIES OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON THE PROJECT SITE AT ALL TIMES DURING INSTALLATION. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK INSTALLED DURING EACH DAY. ACTUAL LOCATION OF TREES AND SHRUB BEDS, IRRIGATION VALVES, AND ALL IRRIGATION AND DRAINAGE PIPING SHALL BE SHOWN ON THE PRINTS BY DIMENSIONS FROM EASILY IDENTIFIED PERMANENT FEATURES, SUCH AS BUILDING, CURBS, FENCES, WALKS, OR PROPERTY LINES. DRAWINGS SHALL SHOW MANUFACTURER'S NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE TO SCALE. ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY MANNER. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE.

## GUARANTEES/WARRANTY

20. ALL PLANTED AREAS SHALL BE MAINTAINED FOR A PERIOD OF SIXTY DAYS FOLLOWING WRITTEN ACCEPTANCE BY OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR WILL GUARANTEE ALL PLANT MATERIAL (INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUND COVER, AND GRASSES) FOR A PERIOD OF ONE FULL YEAR FOLLOWING FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE. IN BIDDING AND INSTALLING THE PLANT MATERIAL SPECIFIED ON THESE PLANS, THE LANDSCAPE CONTRACTOR AGREES THAT THE PLANT MATERIAL SPECIFIED IS SUITABLE TO THE PROJECT SITE. FURTHERMORE, THE LANDSCAPE CONTRACTOR AGREES TO HONOR THE WARRANTY AND, IF NECESSARY, REPLACE SPECIES WITH A MORE HARDY PLANT TYPE IF DETERMINED NECESSARY DUE TO EXCESSIVE DIE OUT. IF THE LANDSCAPE CONTRACTOR DOES NOT BELIEVE CERTAIN PLANT MATERIAL IS SUITABLE FOR THE SITE AND/OR ITS MICRO-CLIMATES, THE LANDSCAPE CONTRACTOR SHALL REQUEST TO MAKE PLANT MATERIAL SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO THE START OF INSTALLATION. PROPOSED SUBSTITUTIONS WILL RESULT IN NO ADDED COST.



## REVEGETATION SPECIFICATIONS

1. WHERE POSSIBLE, STRIP & STOCKPILE EXISTING 6" OF NATIVE SITE TOPSOIL. CONTRACTOR SHALL PROVIDE JUST CONTROL FOR STOCKPILED TOPSOIL AS REQUIRED BY REGULATORY AGENCIES.
2. FOLLOWING COMPLETION OF ROUGH GRADING RE-APPLY A MINIMUM OF 6" OF STOCKPILED TOPSOIL (IF AVAILABLE) TO REVEGETATION AREAS. TOPSOIL SHALL CONSIST OF NATURAL SURFACE SOIL, FRIABLE, AND LOAMY IN CHARACTER. TOPSOIL SHALL BE FREE OF LARGE BRUSH OR STUMPS, OBJECTIONABLE WEEDS, LARGE STONES OR ROCKS (EXCEPT AS DEPICTED ON PLANS) AND SUBSTANCES TOXIC TO PLANTS.
3. SCARIFY PLACED TOPSOIL TO CREATE FRIABLE CONDITIONS. EVENLY BLENDED PLACED TOPSOIL WITH TOP 6" OF SUBGRADE SOIL MATERIAL.
4. REVEGETATION SEEDING IS RECOMMENDED TO TAKE PLACE IN THE FALL TO ALLOW WINTER MOISTURE TO GERMINATE SEEDS. REVEGETATION SEED BLENDS MAY BE APPLIED IN HYDROSEED SLURRY. THE APPLICATION RATE (LBS PER ACRE) IN THE FALL SHALL BE APPLIED AT A MINIMUM RATE OF 32 LBS/ACRE.
5. REVEGETATION SEEDING IN THE SUMMER SHALL BE APPLIED AT 125% OF THE FALL APPLICATION RATE, IMMEDIATELY FOLLOWED BY A TACKIFIER APPLICATION USING 150% OF THE MANUFACTURER'S RECOMMENDED RATE.
6. FOLLOWING SEEDING, APPLY HYDRO-SLURRY MIX OVER SEEDS. SLOPE PER MF'S SPECIFICATIONS. SLURRY SHOULD CONSIST OF THE FOLLOWING:
  - FERTILIZER: 0-10-10 @ 200 LBS/ACRE
  - TACKIFIER: M-BINDER @ 60 LBS/ACRE
  - MULCH: FIBER MULCH @ 1650 LBS/ACRE
  - SEED: REVEGETATION SEED BLEND

## LANDSCAPE NOTES - WASHOE COUNTY LANDSCAPE REQUIREMENTS

- 50% OF ALL PROPOSED EVERGREENS TO BE 7 FT, 50% TO BE 5 FT.
- 50% OF ALL PROPOSED DECIDUOUS TREES TO BE 1" CAL., 50% TO BE 2" CAL.

ALL DISTURBED AREAS OUTSIDE OF PLANTER AREAS TO BE TREATED WITH EROSION CONTROL DRYLAND MIX (SEE SEEDING NOTE BELOW)

PLANT COVERAGE CALCULATION FOR WASHOE COUNTY PER ARTICLE 412 SEC. 110.412.60 - "WOOD CHIPS, BARK, DECORATIVE ROCK OR OTHER INERT MATERIALS (NON-LIVING) MAY ALSO BE USED PROVIDED IT DOES NOT EXCEED 50% OF THE TOTAL PLANTING AREA."

- EXISTING LANDSCAPE TO REMAIN = 2,200 SF
- DISTURBED/DEVELOPED AREA = 6,943 - 2,200 = 4,743 SF
- TOTAL LIVE PLANT COVER REQUIRED (50% OF DISTURBED/DEVELOPED LANDSCAPE AREA) = 2,371 SF
- TOTAL LIVE PLANT COVER PROVIDED:
  - EXISTING EVERGREEN TREES + SHRUBS = 6,000 SF
  - PROPOSED LANDSCAPE = 1,552 SF
- EXISTING TREES TO REMAIN WITHIN PROPERTY LINE - 12
- PROPOSED TREES - 8

- ### ADDITIONAL NOTES:
1. LANDSCAPE TO BE CONSISTENT WITH THE REQUIREMENTS OF THE MT. ROSE HWY SCENIC CORRIDOR STANDARDS.
  2. STREET FRONTAGE AT THE HWY 431 - 1 TREE FOR EVERY 50 LF (350 LF) = 7 TREES REQUIRED AT STREET AND 9 SHOWN, INCLUDING EXISTING OUTSIDE OF THE RIGHT OF WAY.

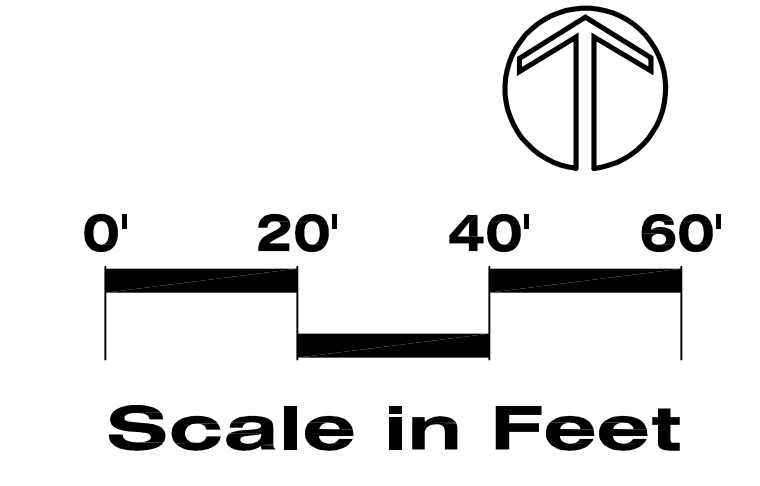
## REVEGETATION / MULCH LEGEND

- EXISTING LANDSCAPE TO REMAIN
- 4' MINUS RIVER COBBLE - IN ALL DISTURBED AREAS WITH NEW PLANTING
- LANDSCAPE BOULDERS - SALVAGED ON-SITE TO BE RANDOMLY PLACED THROUGHOUT THE LANDSCAPE AS INDICATED PER PLAN. BURY TO 1/3 DEPTH.

## PLANT LEGEND AND COVERAGE CALCULATIONS

SYM.	QNT.	BOTANICAL NAME/Common Name	MIN. SIZE	PLANT COVERAGE (IN 3 YEARS)	TOTAL COVERAGE
<b>DECIDUOUS TREES</b>					
	4	ACER RUBRUM - RED MAPLE	2" CAL.		
	4	PRUNUS VIRGINIANA 'SHUBERT' - CHOKECHERRY	1" CAL.		
<b>SHRUBS &amp; ORNAMENTAL GRASSES</b>					
G	15	CORNUS STOLONIFERA 'SANTI'/SANTI REDTWIG DOGWOOD	5 GAL.	16 SF.	= 240 SF.
J	6	FALLUGIA PARADOXA/APACHE PLUME	1 GAL.	16 SF.	= 96 SF.
N	13	PANICUM VIRGATUM 'SHENANDOAH'/SWITCH GRASS	1 GAL.	9 SF.	= 117 SF.
B	14	FERSHIA TRIDENTATA/BITTERBRUSH	4" POTS	9 SF.	= 126 SF.
O	13	PHYSOCARPUS OPUFOLIUS 'DIABLO'/DWARF NINEBARK	5 GAL.	16 SF.	= 208 SF.
P	5	PICEA FUNGENS 'GLAUCA GLOBOSA'/DWARF COLORADO SPRUCE	5 GAL.	9 SF.	= 45 SF.
T	32	RHUS AROMATIC 'LOW GROW'/LOW GROW SUMAC	1 GAL.	16 SF.	= 512 SF.
V	13	RIBES AUREUM/GOLDEN CURRENT	5 GAL.	16 SF.	= 208 SF.

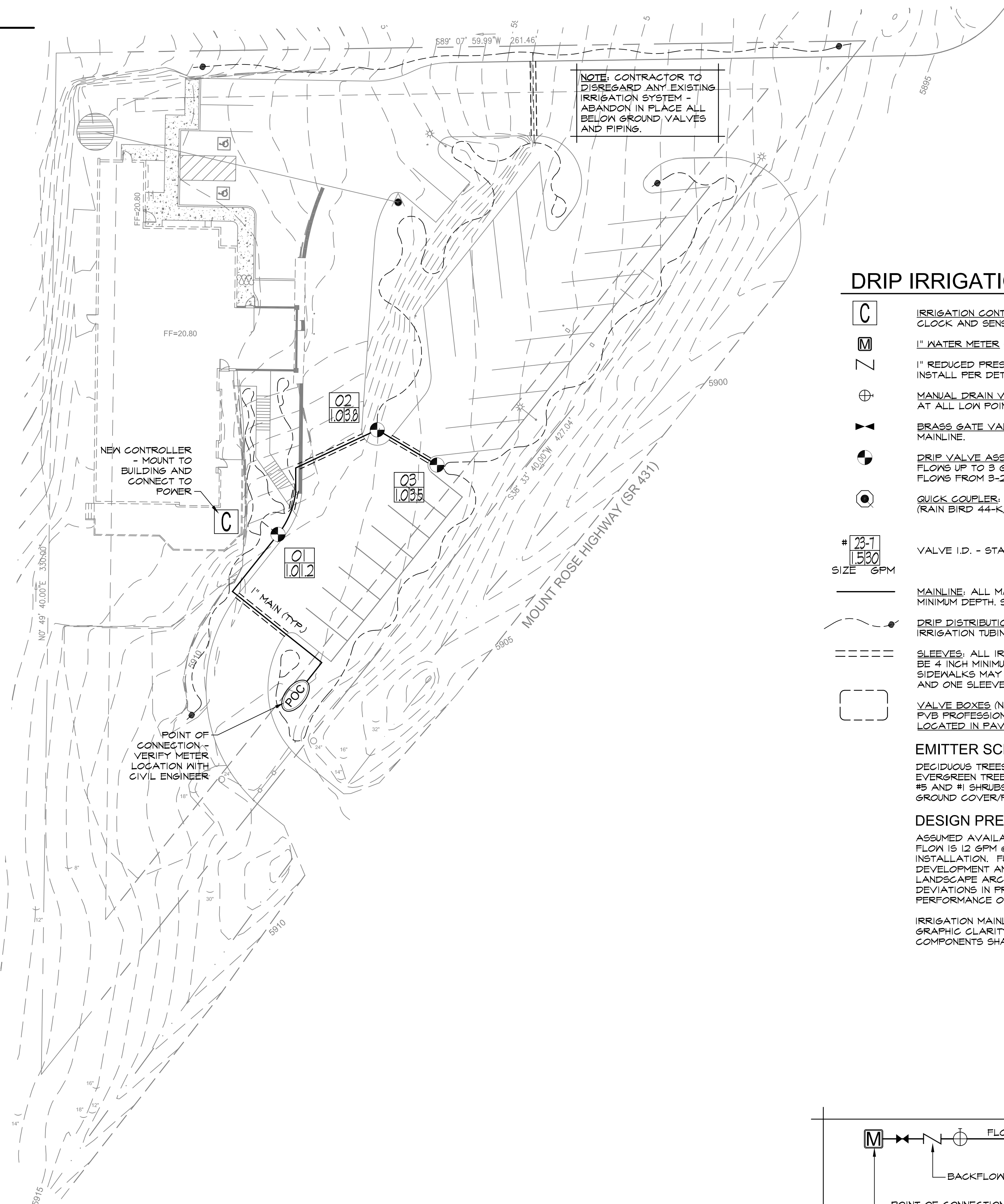
PLANT (SHRUBS) COVERAGE = 1,552 SF. TOTAL



# IRRIGATION SPECIFICATIONS

## GENERAL

1. PLAN IS DIAGRAMMATIC ONLY. FINAL LOCATION OF LINES AND HEADS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE. LINES SHALL BE IN A COMMON TRENCH WHEREVER POSSIBLE. THE POINT-OF-CONNECTION SHALL BE AS INDICATED ON THE PLAN.
  2. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND ENSURE THAT ALL LOCAL CODES ARE MET.
  3. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF THE IRRIGATION SYSTEM AS DEPICTED ON THESE PLANS.
  4. CONTRACTOR SHALL VERIFY AVAILABLE FLOW AND PRESSURE DOWNSTREAM FROM THE POINT-OF-CONNECTION PRIOR TO SYSTEM INSTALLATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF AVAILABLE FLOW IS LESS THAN REQUIRED TO RUN THE LARGEST ZONE. CONTRACTOR SHALL NOT PROCEED ANY FURTHER WITH INSTALLATION OF THE SYSTEM UNTIL NECESSARY DESIGN REVISIONS HAVE BEEN DETERMINED BY OWNER'S REPRESENTATIVE.
  5. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR DIFFERENCES IN DIMENSIONS EXIST THAT MIGHT HAVE BEEN UNKNOWN DURING ENGINEERING. SUCH OBSTRUCTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO ADDITIONAL COST TO OWNER.
  6. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  7. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL IRRIGATION MATERIAL, INCLUDING PIPE, WITH THE LANDSCAPE DRAWINGS TO AVOID INTERFERING WITH THE PLANTING OF TREES, SHRUBS, OR OTHER PLANTINGS.
  8. ALL VALVES ARE TO BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
  9. ALL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE 12 GAUGE UL DIRECT BURIAL OR LARGER AS REQUIRED BY LENGTH PER MANUFACTURER'S SPECIFICATIONS.
  10. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO THE UNDISTURBED ADJACENT SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, HUMPS, OR OTHER IRREGULARITIES.
  11. A MINIMUM OF TWO WORKING DAYS PRIOR TO PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT AT 1-800-227-2600 FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRICAL CABLES, TELEPHONE CABLES, ETC.
  12. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
  13. INSTALL ALL PIPE AND CONTROL WIRES IN LANDSCAPE BEDS AND IN COMMON TRENCHES WHEREVER POSSIBLE.
  14. INSTALL ALL PIPE AND CONTROL WIRE, WHICH RUNS UNDER PAVING, WITHIN SCH. 40 PVC SLEEVES 4" DIA. MINIMUM SIZE AS REQUIRED TO ALLOW INSTALLATION WITHOUT BINDING. PROVIDE (1) SLEEVE PER PIPE. PROVIDE SEPARATE SLEEVES FOR CONTROL WIRE.
  15. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR COMPLETE DRAINAGE OF THE MAINLINES BY INSTALLING MANUAL DRAINS AS INDICATED ON PLAN AND AT ALL SYSTEM LOW POINTS.
- ### FLUSHING AND TESTING
16. PIPING SHALL BE COMPLETELY FLUSHED OF FOREIGN PARTICLES BEFORE ATTACHING IRRIGATION COMPONENTS AND DRAIN VALVES.
  17. AFTER FLUSHING, AND WHEN ALL VALVES AND QUICK COUPLERS ARE IN PLACE, ALL MAIN SUPPLY LINES SHALL BE TESTED AT 100 POUNDS PER SQUARE INCH (100 PSI) WITH VALVES CLOSED. MAINTAIN PRESSURE FOR A PERIOD OF NOT LESS THAN (4) CONSECUTIVE HOURS. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED.
  18. OPERATIONAL TESTING: PERFORM OPERATIONAL TESTING AFTER HYDROSTATIC TESTING IS COMPLETED. DEMONSTRATE TO THE OWNER'S REPRESENTATIVE THAT THE SYSTEM MEETS COVERAGE REQUIREMENTS (100%) AND THAT AUTOMATIC CONTROLS FUNCTION PROPERLY.
- ### SUBMITTALS
19. MATERIALS LIST: WITHIN (5) DAYS AFTER AWARD OF CONTRACT, SUBMIT TO OWNER'S REPRESENTATIVE (5) COPIES OF A COMPLETE MATERIAL LIST (PARTIAL LIST NOT ACCEPTABLE) OF ALL MATERIALS TO BE USED ON THE PROJECT, SPECIFYING MANUFACTURER, GRADE, TRADE NAME, CATALOG NUMBER, SIZE, ETC. THIS SHALL IN NO WAY BE CONSTRUED AS ALLOWING A SUBSTITUTION FOR ANY ITEM SPECIFIED ON THE PLANS. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE MAY BE REJECTED AND THE CONTRACTOR REQUIRED TO REMOVE THE MATERIALS AT HIS OWN EXPENSE.
- INSTALLATION AND PERFORMANCE OF APPROVED SUBSTITUTIONS ARE THE CONTRACTOR'S RESPONSIBILITY. ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION MUST BE MADE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ADDITIONAL COST TO OWNER.
20. PRIOR TO SYSTEM INSTALLATION CONTRACTOR SHALL VERIFY AND SUBMIT TO OWNER'S REPRESENTATIVE IN WRITING, AVAILABLE FLOW AND PRESSURE AT POINT-OF-CONNECTION AS DESCRIBED IN SPECIFICATION #4 ABOVE.
  21. COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION MATERIAL (CONTROLLER KEYS, ETC.) SHALL BE DELIVERED TO OWNER.
  22. CONTRACTOR SHALL PREPARE AND ISSUE TO THE OWNER (AT COMPLETION OF THE INSTALLATION) AN ANNUAL CHART INDICATING LOCATION, OPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.
  23. AS-BUILT IRRIGATION DRAWINGS: CONTRACTOR SHALL FURNISH AS-BUILTS OF THE COMPLETE IRRIGATION SYSTEM. PROCEDURE FROM OWNER'S REPRESENTATIVE. DIGITAL COPIES OF CONTRACT DRAWINGS, CONSTRUCTION DRAWINGS SHALL BE ON THE CONSTRUCTION SITE AT ALL TIMES WHILE THE IRRIGATION SYSTEM IS BEING INSTALLED. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK INSTALLED DURING EACH DAY. ACTUAL LOCATION OF VALVES AND ALL IRRIGATION AND DRAINAGE PIPING SHALL BE SHOWN ON THE PRINTS BY DIMENSIONS FROM EASILY IDENTIFIED PERMANENT FEATURES, SUCH AS BUILDINGS, CURBS, FENCES, WALKS OR PROPERTY LINES. DRAWINGS SHALL SHOW APPROVED MANUFACTURER'S NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE TO SCALE AND ALL INDICATIONS SHALL BE NEAT. ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY MANNER. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE AT OR BEFORE FINAL ACCEPTANCE/APPROVAL OF THE PROJECT.
- ### GUARANTEE/FINAL ACCEPTANCE
24. CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. MANUFACTURER WARRANTIES SHALL ONLY EXCEED THIS GUARANTEE AND CONTRACTOR SHALL BE LIABLE FOR REPAIRS/REPLACEMENT OF FAILED MATERIAL/WORKMANSHIP.
- ### MAINTENANCE
25. AFTER SYSTEM IS INSTALLED AND APPROVED, INSTRUCT OWNER'S DESIGNATED PERSONNEL IN COMPLETE OPERATION AND MAINTENANCE PROCEDURES. DRAIN ENTIRE SYSTEM AT END OF FIRST WATERING SEASON FOLLOWING INSTALLATION. TRAIN OWNER'S DESIGNATED PERSONNEL BY HAVING THEM ASSIST IN WINTERIZING PROCEDURE.



**NOTE: CONTRACTOR TO DISREGARD ANY EXISTING IRRIGATION SYSTEM - ABANDON IN PLACE ALL BELOW GROUND VALVES AND PIPING.**

## DRIP IRRIGATION LEGEND

- IRRIGATION CONTROL CLOCK: RAIN BIRD ESP-LXME/F CONTROLLER. INSTALL CLOCK AND SENSOR PER MFG'S SPECIFICATIONS.
- 1" WATER METER - VERIFY SIZE AND LOCATION PER CIVIL DWGS.
- 1" REDUCED PRESSURE TYPE BACKFLOW PREVENTER: WILKENS 915XL (OAE). INSTALL PER DETAIL(S).
- MANUAL DRAIN VALVE: 3/4" BRASS GATE VALVE. (GRINNELL OR OAE) INSTALL AT ALL LOW POINTS ALONG MAINLINE.
- BRASS GATE VALVE: GRINNELL (OAE) FOR MAINLINE ISOLATION. SAME SIZE AS MAINLINE.
- DRIP VALVE ASSEMBLY: FLOWS UP TO 3 GPM INSTALL RAIN BIRD XCZ-LF-100-PRF LOW FLOW DRIP KIT. FLOWS FROM 3-20 GPM INSTALL RAIN BIRD XCZ-FRB-100-COM DRIP KIT.
- QUICK COUPLER: RAIN BIRD 44-LRC. PROVIDE OWNER WITH TWO VALVE KEYS (RAIN BIRD 44-K).
- VALVE I.D. - STATION #, VALVE SIZE, AND APPROX. G.P.M.
- MAINLINE: ALL MAINLINES SHALL BE SCH. 40 PVC AND INSTALLED AT 24 INCH MINIMUM DEPTH. SIZE PER PLAN.
- DRIP DISTRIBUTION TUBING: 3/4" RAIN BIRD XBS-BLACK STRIPE TUBING IRRIGATION TUBING WITH RAIN BIRD MDCFCAP REMOVABLE FLUSH CAP.
- SLEEVES: ALL IRRIGATION SLEEVES UNDER STREETS AND DRIVEWAYS SHALL BE 4 INCH MINIMUM SCH. 40 PVC. SLEEVES FOR DRIP TUBING UNDER SIDEWALKS MAY BE 2 INCH MINIMUM SCH. 40. PROVIDE ONE SLEEVE PER PIPE AND ONE SLEEVE FOR WIRING.
- VALVE BOXES (NOT SHOWN): ALL VALVES SHALL BE LOCATED IN RAIN BIRD PVB PROFESSIONAL SERIES VALVE BOXES PER DETAILS. NOTE: ANY BOXES LOCATED IN PAVED AREAS (IF NEEDED) SHALL BE TRAFFIC RATED CONCRETE.

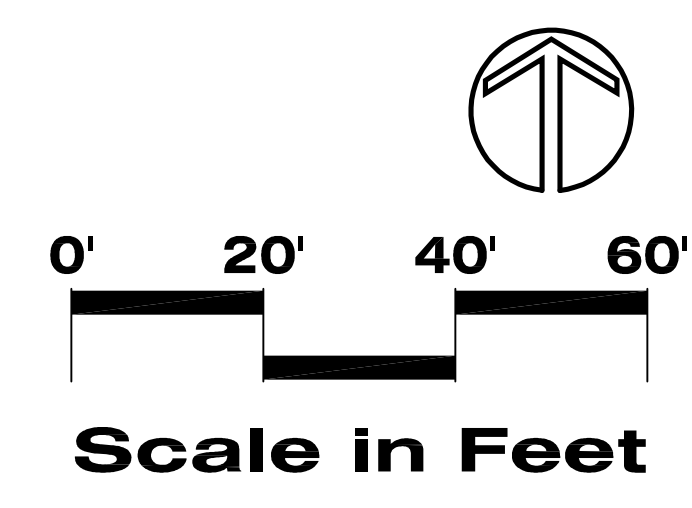
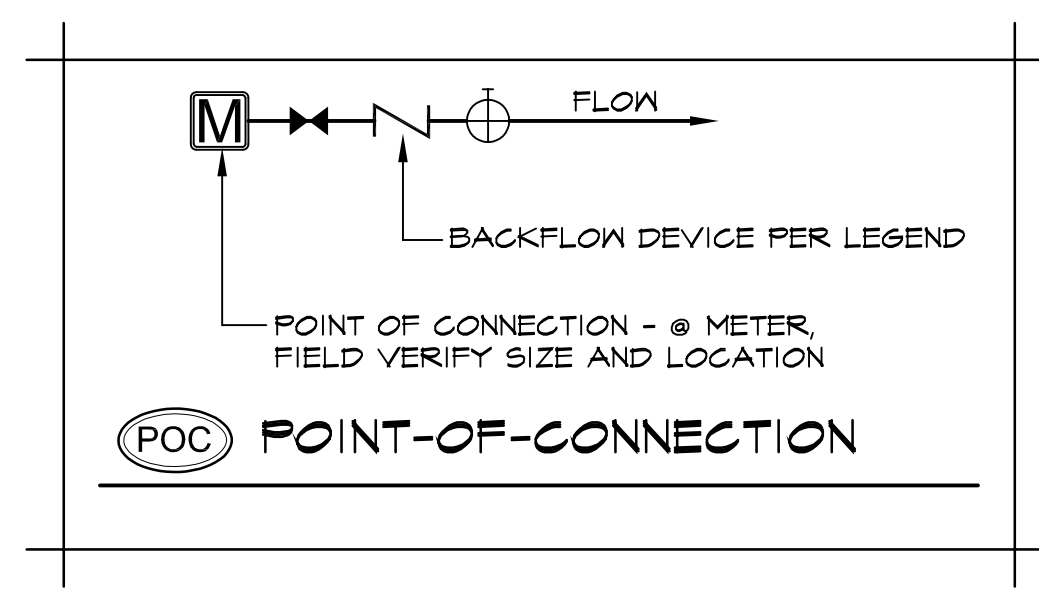
### EMITTER SCHEDULE

DECIDUOUS TREES: (4) RAIN BIRD XERI-BUG 2 GPH PRESSURE COMPENSATING EMITTERS  
 EVERGREEN TREES: (4) RAIN BIRD XERI-BUG 2 GPH PRESSURE COMPENSATING EMITTERS  
 #5 AND #1 SHRUBS: (2) RAIN BIRD XERI-BUG 2 GPH PRESSURE COMPENSATING EMITTERS  
 GROUND COVER/PERENNIALS: (2) RAIN BIRD XERI-BUG 1 GPH PRESSURE COMPENSATING EMITTER.

### DESIGN PRESSURE NOTE:

ASSUMED AVAILABLE WATER PRESSURE AT P.O.C. IS 65 PSI. ASSUMED FLOW IS 12 GPM @ 5 FPS. CONTRACTOR TO VERIFY PRIOR TO SYSTEM INSTALLATION. FUTURE PRESSURES MAY VARY DUE TO NEW DEVELOPMENT AND/OR OTHER UNFORESEEN CIRCUMSTANCES. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR FUTURE DEVIATIONS IN PRESSURE AND ANY RESULTING EFFECTS ON THE PERFORMANCE OF THE IRRIGATION SYSTEM.

IRRIGATION MAINLINES ARE SHOWN IN STREET/PAVED AREAS FOR GRAPHIC CLARITY ONLY. WHERE POSSIBLE, ALL IRRIGATION COMPONENTS SHALL BE LOCATED IN PLANTING BEDS.



No.	Revision Date

LA No.	243-210-10-16
Designed	DD
Drawn	KMK
Checked	RNH
Date	6/18/17